


RECORD OF DEFERRAL
SYDNEY CENTRAL CITY PLANNING PANEL

DATE OF DETERMINATION	30 May 2019
PANEL MEMBERS	Paul Mitchell (Acting Chair), Stuart McDonald, Lindsay Fletcher, Kathie Collins and Chris Quilkey
APOLOGIES	Mary-Lynne Taylor
DECLARATIONS OF INTEREST	Nil

Public meeting held at Blacktown City Council on Thursday, 30 May 2019, opened 12.00pm and closed at 1.40pm.

MATTER DEFERRED

Panel Ref – 2019CCI030 – LGA – Blacktown – DA18/00567 at 30 Frank Street, Mount Druitt (as described in Schedule 1)

REASONS FOR DEFERRAL

The Panel is minded to approve the application subject to provision of amended plans including a revised landscape plan showing how lost trees will be replaced and providing for continuous planting along the street frontage by removing the currently proposed ramp and showing associated finished level adjustments.

The Panel's reasons are as follows

1. The public interest is served by timely provision of special needs housing and this factor distinguishes the present application from those for other forms of residential development in terms of any precedent.
2. Seniors housing is permissible under R2 Low Density Residential zone and satisfies the zone objectives outlined under Blacktown Local Environmental Plan 2015.
3. The proposed development will add to the supply and choice of housing within the Sydney Central City Planning District and the Blacktown local government area in a location with good access to services and amenities.
4. The proposed development adequately satisfies the relevant State and Regional Environmental Planning Policies including SEPP 55 - Remediation of Land, SEPP (BASIX) 2004 and SEPP (Housing for Seniors or People with a Disability) 2004.
5. The proposal generally complies with Blacktown Local Environmental Plan 2015 and Blacktown Development Control Plan 2015 and to the extent that it does not, the variations are acceptable.
6. The proposed development is consistent with the desired future character of the area and is compatible with the surrounding properties.
7. The likely impacts of the development, including traffic, access, parking, noise, siting, design, bulk and scale, overshadowing, visual and acoustic privacy, contamination, waste

management have been satisfactorily addressed, so that the proposed development will not result in unfavourable social, economic or environmental impacts.

8. Whilst the proposed stormwater management arrangement is not in accordance with Council's DCP, the Panel is satisfied that the alternative arrangement proposed will operate satisfactorily and not impose any significant burden on Council for its future maintenance. The Panel notes the difficulty of obtaining the easement through downstream properties in circumstances where all those properties have objected to the proposal.
9. The proposed development, subject to the conditions imposed, will have no unacceptable adverse impacts on the natural or built environments including the local ecology, the amenity of adjacent and nearby premises and the operation of the local road system.
10. In consideration of conclusions 1-9 above the Panel considers the proposed development is a suitable use of the site and approval of the proposal is in the public interest.

The Panel deferred its determination of the matter until a draft set of conditions have been prepared by Council and submitted to the applicant for their agreement. The matter is to then be reported back to the Panel for determination. The draft conditions shall include a condition requiring the preparation of amended plans including removal of the ramp, adjustment of finished levels and a revised landscape plan to replace the loss of trees.

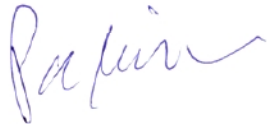



When this information has been received, the panel will hold another meeting.

The decision to defer the matter was unanimous. The Panel adjourned during the meeting to deliberate on the matter and formulate a resolution.

CONSIDERATION OF COMMUNITY VIEWS

- In coming to its decision, the Panel considered written submissions made during public exhibition and heard from those wishing to address the panel as listed at item 7 in Schedule 1. The Panel notes that issues of concern included:
 - Changing character of the area
 - Opposition to multiple dwellings

The Panel considers that concerns raised by the community have been adequately addressed in the assessment report and that no further new issues requiring assessment were raised during the public meeting.

PANEL MEMBERS	
 Paul Mitchell (Acting Chair)	 Stuart McDonald
 Lindsay Fletcher	 Kathie Collins



Chris Quilkey

SCHEDULE 1		
1	PANEL REF – LGA – DA NO.	Panel Ref – 2019CCIO30 – LGA – Blacktown – DA18/00567
2	PROPOSED DEVELOPMENT	Seniors housing development comprising 4 dwellings, car parking and landscaping.
3	STREET ADDRESS	30 Frank Street, Mount Druitt
4	APPLICANT/OWNER	Applicant – Creative Planning Solutions Pty Ltd Owner – Aboriginal Housing Office
5	TYPE OF REGIONAL DEVELOPMENT	Crown Development
6	RELEVANT MANDATORY CONSIDERATIONS	<ul style="list-style-type: none">• Environmental planning instruments:<ul style="list-style-type: none">○ State Environmental Planning Policy No. 55 – Remediation of Land○ State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004○ Blacktown Local Environmental Plan (BLEP) 2015• Draft environmental planning instruments: Nil• Development control plans:<ul style="list-style-type: none">○ Blacktown Development Control Plan 2015• Planning agreements: Nil• Provisions of the <i>Environmental Planning and Assessment Regulation 2000</i>: Nil• Coastal zone management plan: Nil• The likely impacts of the development, including environmental impacts on the natural and built environment and social and economic impacts in the locality• The suitability of the site for the development• Any submissions made in accordance with the <i>Environmental Planning and Assessment Act 1979</i> or regulations• The public interest, including the principles of ecologically sustainable development
7	MATERIAL CONSIDERED BY THE PANEL	<ul style="list-style-type: none">• Council assessment report: 15 May 2019• Written submissions during public exhibition: 1 and a petition with 21 signatures

		<ul style="list-style-type: none"> • Verbal submissions at the public meeting: <ul style="list-style-type: none"> ○ In support – Nil ○ In objection – Nil ○ Council assessment officer – Sara Smith, David Yee and Perri Bezzina ○ On behalf of the applicant – Naef Qassis, Simon Newport, Ben Tesoriero and Stefan Koebisch
8	MEETINGS, BRIEFINGS AND SITE INSPECTIONS BY THE PANEL	<ul style="list-style-type: none"> • Site Inspection: 30 May 2019 • Final briefing to discuss council's recommendation, 30 May 2019, time 11.30am. • Attendees: <ul style="list-style-type: none"> ○ <u>Panel members</u>: Paul Mitchell (Acting Chair), Stuart McDonald, Lindsay Fletcher, Kathie Collins and Chris Quilkey ○ <u>Council assessment staff</u>: Sara Smith, David Yee and Perri Bezzina
9	COUNCIL RECOMMENDATION	Refusal
10	DRAFT CONDITIONS	N/A

Assessment report to Sydney Central City Planning Panel

Panel reference: 2019CC1030

Development Application

DA number	DA-18-00567	Date of lodgement	29 March 2018
Applicant	Creative Planning Solutions Pty Ltd		
Owner	Aboriginal Housing Office		
Proposed development	Seniors housing development comprising 4 dwellings, car parking and landscaping		
Street address	30 Frank Street, Mount Druitt		
Notification period	2 to 16 May 2018	Number of submissions	1 letter and a petition with 21 signatures

Assessment

Panel criteria

Section 7, SEPP
(State and Regional
Development) 2011

- Crown Development as Council is recommending refusal of the proposal.

Relevant section 4.15(1)(a) matters

- Environmental Planning and Assessment Act 1979
- State Environmental Planning Policy No. 55 – Remediation of Land
- State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004
- Blacktown Local Environmental Plan (BLEP) 2015
- Blacktown Development Control Plan (BDCP) 2015.

Report prepared by Sara Smith

Report date 15 May 2019

Recommendation The Panel refer the application to the Minister for Planning seeking his approval to refuse the application under section 4.33(1)(a) of the Environmental Planning and Assessment Act 1979.

Attachments

- 1 Location map
- 2 Aerial image
- 3 Zoning extract
- 4 Development Application plans
- 5 Assessment against planning controls
- 6 Issues raised by the public

Checklist

Summary of section 4.15 matters

Have all recommendations in relation to relevant section 4.15 matters been summarised in the Executive summary of the Assessment report? **Yes**

Legislative clauses requiring consent authority satisfaction

Have relevant clauses in all applicable environmental planning instruments, where the consent authority must be satisfied about a particular matter, been listed and relevant recommendations summarised in the Executive Summary of the Assessment report? **Not applicable**

Clause 4.6 Exceptions to development standards

If a written request for a contravention to a development standard (clause 4.6 of the LEP) has been received, has it been attached to the Assessment report?

Not applicable

Special Infrastructure Contributions

Does the DA require Special Infrastructure Contributions conditions (section 7.24)?

Not applicable

Conditions

Have draft conditions been provided to the Applicant for comment?

No

Contents

1	Executive summary.....	4
2	Location	4
3	Site description	4
4	Background	4
5	The proposal.....	4
6	Assessment against planning controls	4
7	Key issues	5
8	Issues raised by the public.....	6
9	Internal referrals.....	6
10	Conclusion.....	6
11	Recommendation.....	6

1 Executive summary

- 1.1 The key issue that needs to be considered by the Panel in respect of this application is the inability to drain the site to Council's drainage and stormwater disposal requirements and a non-compliance with the Seniors Living SEPP's deep soil zone requirements.
- 1.2 Assessment of the application against the relevant planning framework and consideration of matters by our technical departments have identified issues of concern that cannot be dealt with by conditions.
- 1.3 The application is therefore unsatisfactory when evaluated against section 4.15 of the Environmental Planning and Assessment Act 1979.
- 1.4 This report recommends that the Panel request that the Minister for Planning refuse the application based on the grounds listed in the Recommendation in Section 11 below.

2 Location

- 2.1 The site is located at 30 Frank Street, Mount Druitt.
- 2.2 The location of the site is shown at attachment 1.

3 Site description

- 3.1 The site is known as Lot 7 DP 2042.
- 3.2 It is currently occupied by a single storey dwelling.
- 3.3 An aerial image of the site and surrounding area is at attachment 2.

4 Background

- 4.1 The site is zoned R2 Low Density Residential under Blacktown Local Environmental Plan 2015. The zoning plan for the site and surrounds is at attachment 3.
- 4.2 There are no previous DAs for the site.

5 The proposal

- 5.1 The Development Application has been lodged by Creative Planning Solutions Pty Ltd on behalf of the Aboriginal Housing Office (being a Crown Authority).
- 5.2 The Applicant proposes the construction of a seniors housing development containing 4 self-contained dwellings, parking for 4 vehicles, drainage works, landscaping and tree removal.
- 5.3 A copy of the development plans is at attachment 4.

6 Assessment against planning controls

- 6.1 A full assessment of the Development Application against relevant planning controls is provided at attachment 6, including:
 - Environmental Planning and Assessment Act 1979
 - State Environmental Planning Policy No. 55 – Remediation of Land
 - State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004
 - Blacktown Local Environmental Plan (BLEP) 2015
 - Blacktown Development Control Plan (BDGP) 2015.

7 Key issues

7.1 Lack of appropriate downstream drainage

- 7.1.1 BDCP 2015 Part C states that “where a site proposed for attached dwellings and multi dwelling housing falls away from the fronting street, the DA must include documentation establishing a suitable drainage solution including an inter-allotment drainage (and proposed easement) through downstream properties and written permission from downstream property owners where applicable.”
- 7.1.2 The site falls to the rear and should therefore drain with the natural catchment. In this regard an easement for drainage should be obtained over the properties at the rear of the site in accordance with the requirements of Council's DCP.
- 7.1.3 This situation is not uncommon and Council has consistently required the acquisition of downstream easements to ensure stormwater follows as close as possible to the natural flow path.
- 7.1.4 There is a readily available mechanism to achieve this outcome through section 88K of the Conveyancing Act, which allows the NSW Land and Environment Court to impose an easement on a property for the purpose of development. The Applicant has chosen not to pursue this option.
- 7.1.5 Rather than follow the natural fall of the land, the Applicant has proposed a system that drains against the natural fall of the land. This is achieved by the proposed construction of a kerb inlet pit and approximately 75 m of new pipe drainage infrastructure within Frank Street. This new infrastructure will become a Council asset and will be significantly deeper than would normally be constructed by Council.
- 7.1.6 This drainage is only necessary to facilitate this development and provides no benefit to Council or the community. It also places an ongoing financial burden on Council for the cost of maintaining and renewing this unnecessary infrastructure in the roadway.
- 7.1.7 The approval of this application in the proposed configuration will undermine Council's ability to apply the DCP consistently and will result in increased asset management costs to Council across the LGA as a result of inheriting unnecessary and inefficient infrastructure.
- 7.1.8 There are no provisions in the SEPP which preclude Council from refusing the application on this ground subject to the concurrence of the Minister for Planning, as the development is on behalf of the Crown.
- 7.1.9 The Applicant was advised in writing on 13 July 2018 of Council's DCP requirements and requested to submit revised drawings to comply. The Applicant advised that amended plans providing a downstream easement would not be submitted and the proposed gravity discharge system was intended to drain the site, and requested the application be considered on the basis of the plans as submitted.
- 7.1.10 The proposal in its current form is not supported by Council's Engineering Section and in this regard draft conditions of consent cannot be provided.
- 7.1.11 Accordingly, as the application is a Crown development, a referral is required to the Minister for Planning under section 4.33(1)(a) of the Act seeking his approval for refusal of the application.

7.2 Insufficient deep soil zone provided in accordance with the Seniors Living SEPP

- 7.2.1 The Applicant proposes a non-compliance with the minimum requirement of 15% (151 sqm) of the site being provided as a deep soil zone as required under the Seniors Living SEPP.
- 7.2.2 The proposal has provision for 12%, or an area of 118 sqm, resulting in a deficit of 33 sqm or 3%.
- 7.2.3 Whilst this is a variation, it is considered reasonable in this instance as each of the 4 units is provided with private open space areas well in excess of the minimum requirements, and the private open spaces are provided with low maintenance landscaping.
- 7.2.4 The proposal achieves compliance with all remaining controls and variation to this control, if approval was granted, is considered acceptable.

8 Issues raised by the public

- 8.1 The proposed development was notified to property owners and occupiers in the locality between 2 and 16 May 2018.
- 8.2 We received 1 written submission and a petition including 21 signatures.
- 8.3 Whilst a number of issues were raised in the submissions, in the event that approval is granted these could be addressed through conditions of consent. A summary of each issue and our response is provided in attachment 6.
- 8.4 The objections are not considered to warrant refusal of the Development Application in the event that approval of the application is recommended for refusal by the Panel to the Minister for Planning.

9 Internal referrals

- 9.1 The Development Application was referred to the following internal sections of Council for comment:

Section	Comments
Engineering	The proposal is not suitable as it does not comply with Section 5.19 of Blacktown Development Control Plan 2015, Part C. Approval is not recommended and conditions of consent have not been provided.
Building	Acceptable subject to conditions.

10 Conclusion

- 10.1 The proposed development has been assessed against all relevant matters and is not considered to be satisfactory. It is considered that the likely impacts of the development have not been satisfactorily addressed and that the proposal is not in the public interest.

11 Recommendation

- 1 The Panel refer the application to the Minister for Planning seeking his approval to refuse the application under section 4.33(1)(a) of the Environmental Planning and Assessment Act 1979, for the following reasons:

- a The proposed development is not consistent with the requirements of Blacktown Development Control Plan 2015, Part C as the proposal does not comply with Section 5.19 Drainage [Section 4.15(1)(a)(iii) of the Act].
 - b Granting consent to the proposal in its current form would result in adverse impacts to the locality and the natural and built environments in terms of an appropriate drainage solution for the site [Section 4.15(1)(b) of the Act].
 - c Granting of consent to the proposal in its current form would not be in the public interest as the proposal does not provide an appropriate drainage solution for the site [Section 4.15(1)(e) of the EP&A Act].
- 2 Council officers notify the Applicant and submitters of the Panel's decision.



Judith Portelli
Manager Development Assessment



Glennys James
Director Planning and Development

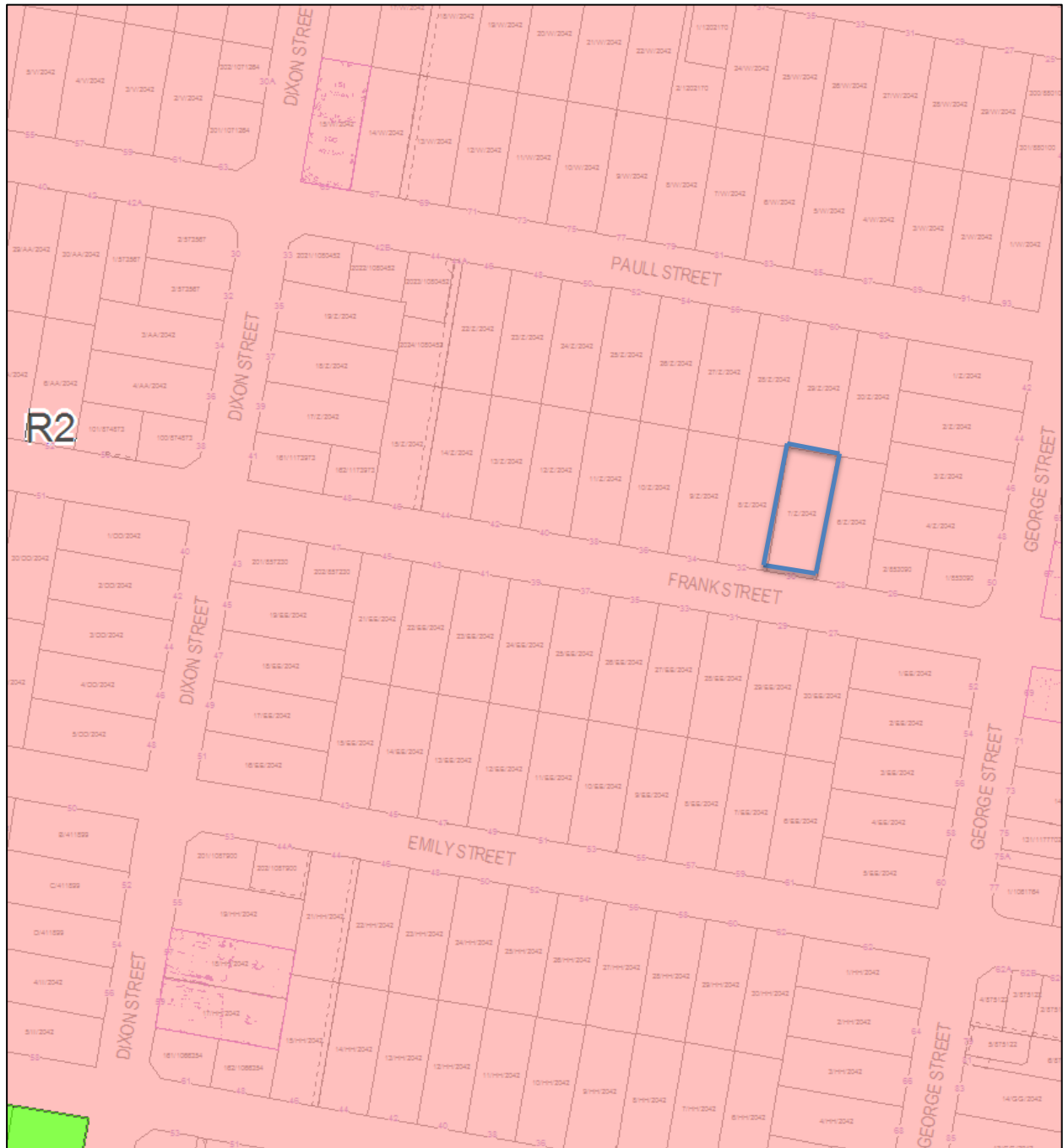
Location map



Aerial image (as at 1/5/2019)



Zoning extract



Aboriginal Housing Office, Seniors Living Development x 4 Units
30 Frank Street, Mount Druitt, NSW
DA Issue - 16th March- 2018

Architectural

2158.17	DA00	Cover Sheet
2158.17	DA01	Site Analysis & Block Plan
2158.17	DA02	Site & External Works Plan
2158.17	DA03	Cut and Fill Plan
2158.17	DA04	Ground Floor Plan
2158.17	DA05	Roof Plan
2158.17	DA06	Elevations & Sections
2158.17	DA07	External Colour Selection

Hydraulic Drawing Schedule

171243	C01	Notes & Legends
171243	C02	Ground Floor Drainage Plan
171243	ESM1	Notes & Legends
171243	ESM2	Environmental Site Management Plan

Landscape Drawing Schedule

2157.17	L01	Landscape Plan
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Survey Drawing Schedule

2157.17	1 of 1	Plan showing boundaries, relative heights and physical features
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Aboriginal Housing
Office

Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

Drawn: JOK, CP
Checked: JOK
Plot date: 26/3/18

Scale: N.T.S @ A1

Project No:
2158.17

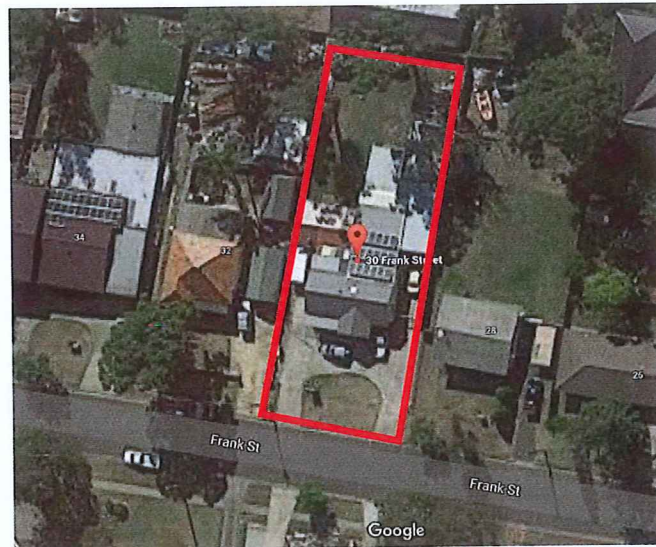
Drawing No: DA00
Amendment#: 01

Cover Sheet

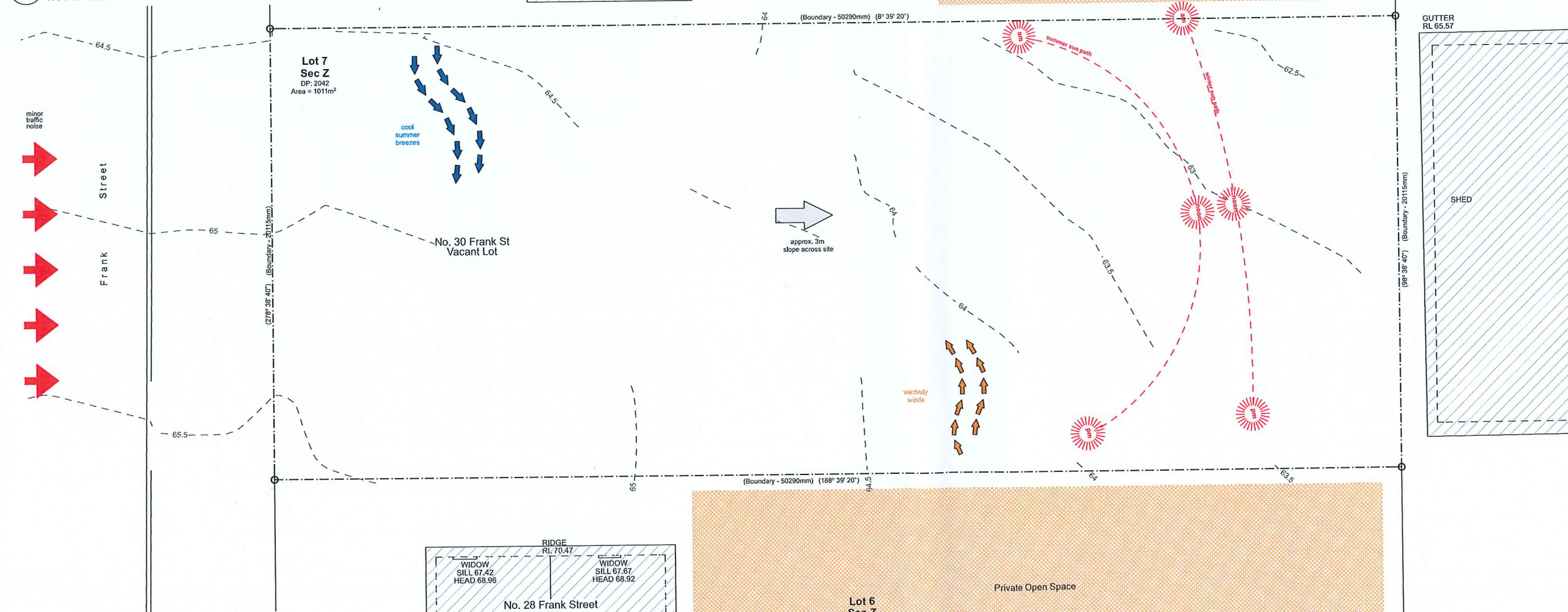


01 Site & Location Plan
not to scale

0 1000 2000 3000 4000 5000 10000
scale: 1:100 @A1



01 Block Plan not to scale



01 Site and Block Analysis Plan 1:100

- Legend**
- site analysis plan
note: drawing may not contain all items listed below
 - approx. location of existing trees
 - existing trees to be removed
 - approx. location of existing contours
 - approx. location of existing site & lot boundaries
 - approx. location of existing buildings
 - approx. location of private open space

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All dimensions to be verified on site and any discrepancies referred to architect for determination. Figured dimensions to take precedence over scaled dimensions.

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Rev	Issue	Date
01	DA Issue	18.03.18

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Aboriginal Housing Office

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Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

Drawn: JOK, CP
Checked: JOK
Plot date: 26/3/18

Scale: 1:100 as noted @ A1

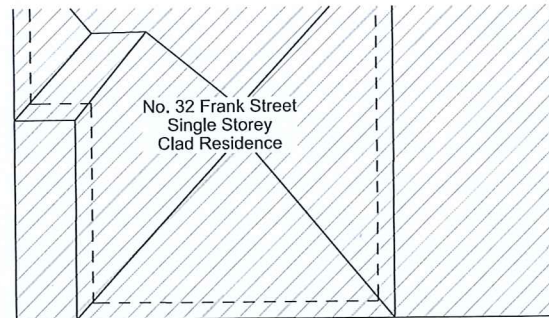
Project No:
2158.17

Drawing No: DA01
Amendment#: 01

Site Analysis & Block Plan

0 1000 2000 3000 4000 5000 10 000
scale: 1:100 (EAI)

NATHERS Thermal Performance Specification			
External Walls			
Wall Type	Insulation	Colour	Comments
Brick Veneer	R1.5	Light - SA < 0.475	As per plans and elevations
Metal Clad	R1.5	Light - SA < 0.475	As per plans and elevations
Internal Walls			
Wall Type	Insulation	Comments	
Plaster board on Stud	None	Internally in units	
Plaster board on Stud	R1.5	Internal walls adjacent to garage	
Cavity Brick + Plaster Lining	None	Party walls	
Floors			
Floor Type	Insulation	Comments	
Concrete	None	Slab on ground	
Ceilings			
Ceiling Type	Insulation	Comments	
Plasterboard	R1.5	Throughout	
Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.			
Roof			
Roof Type	Insulation	Colour	Comments
Metal	R1.3 foil faced blanket	Dark - SA > 0.7	Throughout
SA - Solar Absorbance			
Glazing			
Glazing & Frame Type	U-Value	SHGC	Opening Style
Single Clear Aluminium	6.7	0.57	All awning and casement windows
Single Low E Aluminium	5.4	0.49	except on Unit 1
Single Clear Aluminium	6.7	0.7	All sliding doors and fixed windows
Single Low E Aluminium	5.4	0.58	except on Unit 1
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value a 10% of the above specified values.			



Lot 8
Sec Z
DP 2042

- LEGEND:
- approx. location of existing trees
 - approx. location of trees to be removed
 - 1 bed
 - 2 bed
 - landscape
 - Private open Space
 - Deep Soil (min. dim. 3m)

DEVELOPMENT DATA - SEPP SL OPTION			
ADDRESS	30 Frank St, Mount Druitt, 2770		
SITE AREA	1011m ²		
NUMBER OF EXISTING LOTS	Lot 7 DP 2042		
NUMBER OF DWELLINGS	4 UNITS: 1 x 1b & 3 x 2b Senior Living Units		
DWELLINGS	Number	Type*	Area* (m ²)
	POS*		
UNIT 1	ADAPTABLE	1	59.29m ²
	ADAPTABLE	2	73.22m ²
	ADAPTABLE	2	73.22m ²
	ADAPTABLE	2	73.22m ²
Control		Requirement	Proposed
PARKING	SEPP SL 1 car space for each 5 dwellings where the development is made by or is made by a person jointly with a social housing provider		1 per 5 dwellings (1)
			4
FLOOR SPACE RATIO	SEPP SL	0.51 (505.5m ²)	0.381 (400.87m ²)
LANDSCAPING	SEPP SL	30m ² per dwelling (100m ²)	234.56m ²
DEEP SOIL	SEPP SL	15% of site area (151.65m ²)	117.85m ²
SOLAR ORIENTATION	SEPP SL	70% of dwellings have 3 hours of sunlight between 9am and 3pm 21 June into living areas & POS	complies
PRIVATE OPEN SPACE	SEPP SL	15m ²	complies
BUILDING HEIGHT	SEPP SL	8,000mm (2 storeys)	complies
SETBACKS	Blacktown DCP	Front Setback: 6000mm	6000mm
		Secondary Front: 3000mm	N/A
		Side Setback: 2300mm	2300mm
		Rear Setback: 2300mm	2300mm

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Rev 01 Issue DA Issue 16.03.18

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NSW
Aboriginal Housing Office

Aboriginal Housing Office

Certificate no.: 000253980
Assessor Name: Dean Gorman
Accreditation no.: VIC/BDAN/13/1645
Certificate date: 15 March 2018
Average star rating: 6.3
NATIONWIDE HOUSE ENERGY RATING SCHEME
www.nathers.gov.au

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Seniors Living Development x 4 Units
30 Frank Street,
Mount Druitt, NSW

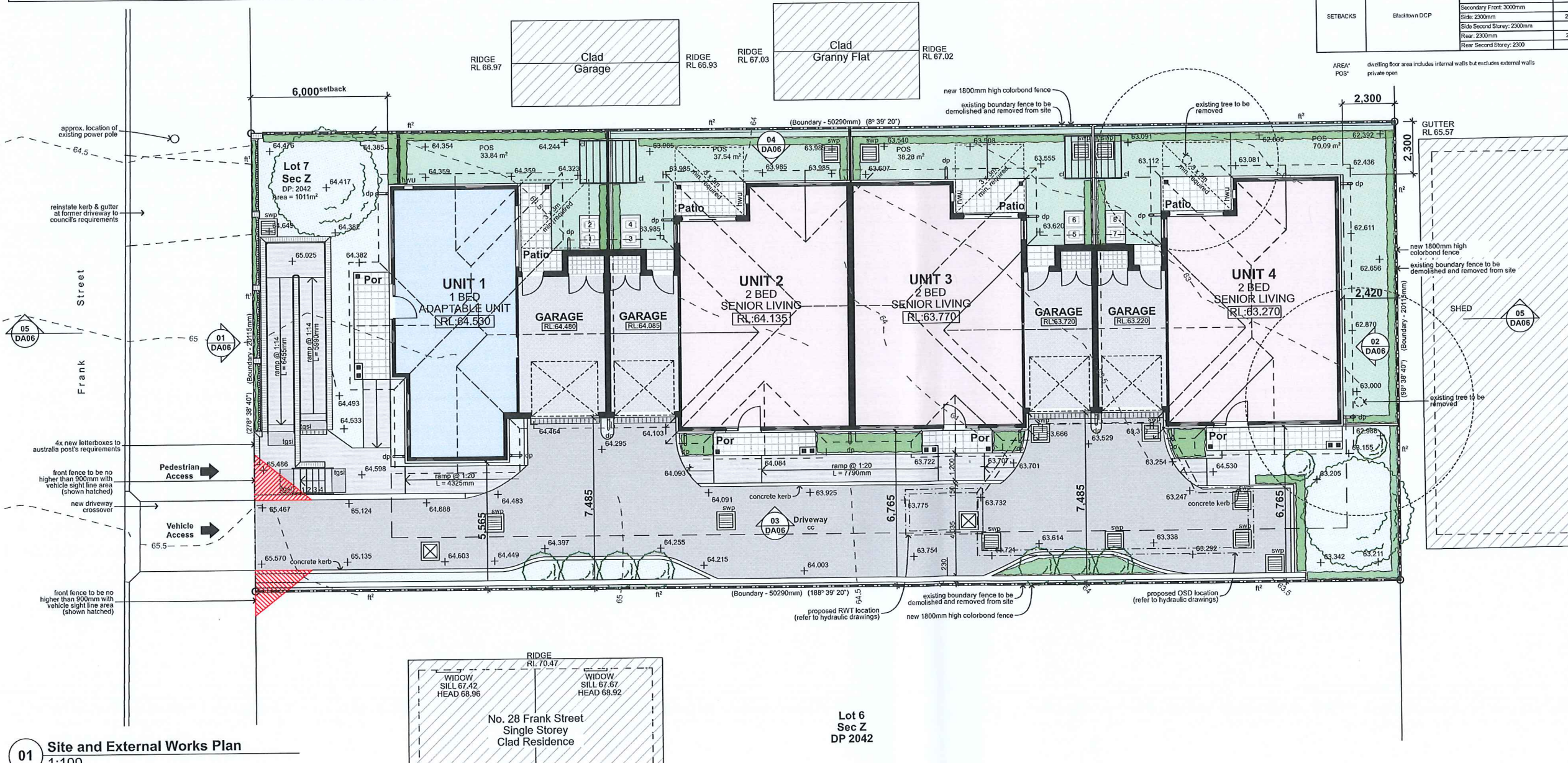
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Checked: JOK
Plot date: 26/3/18

Scale: 1:100 as noted @ A1

Project No:
2158.17

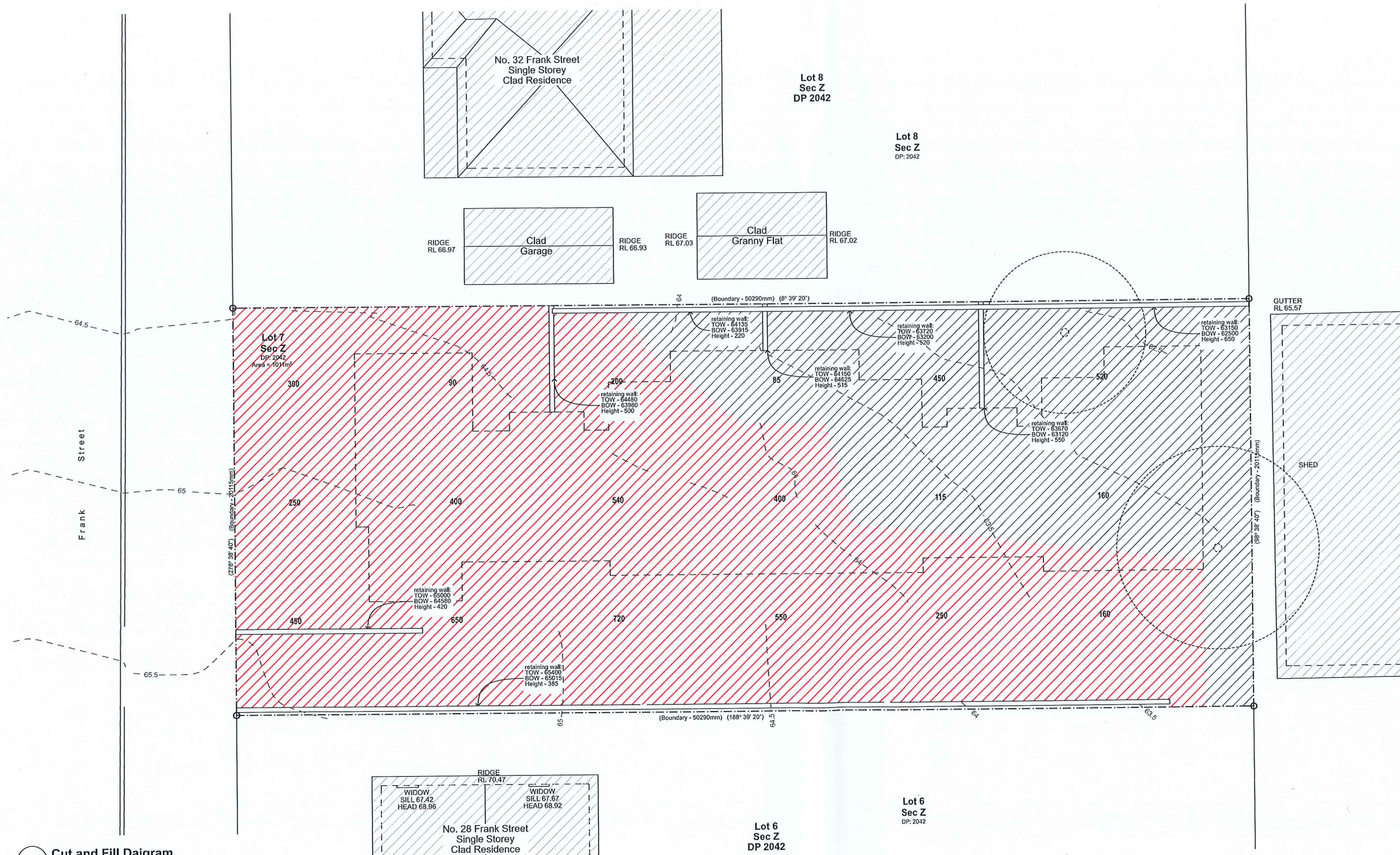
Drawing No:
DA02

Amendment#: 01
Site & External Works Plan



01 Site and External Works Plan
1:100

- Legend (external work / site plan)
note: drawing may not contain all items listed below
- ex. contours
 - existing trees to be removed
 - existing trees to be retained
 - proposed trees
 - ex. RL 00.00 → existing levels
 - RL 00.00 → proposed levels
 - bal(1) balustrade (type)
 - boe brick on edge
 - bol concrete (type)
 - cc(1) concrete (type)
 - cft ceramic floor tiles
 - cl clothes line
 - col column
 - dp downpipe
 - fb(1) facebrick work (type)
 - ft(1) fence (type)
 - gb garbage bin
 - gt gate
 - gid grated drain
 - hr(1) handrail (type)
 - ht hose tap
 - hw hot water unit
 - hyd hydrant
 - kr kerb ramp
 - lb letter box
 - pos private open space
 - pmp permeable pavers
 - pp power pole
 - rw(1) retaining wall (type)
 - swp storm water pit
 - tsi tactile ground surface indicator
 - tow top of wall



01 Cut and Fill Daigram
1:100

Legend (cut and fill diagram)
note: drawing may not contain all items listed below

note:
grey area indicated extent of fill

note:
red area indicated extent of cut

50 approx. depth of cut and fill in millimetres

— indicates outline of new buildings

- - - indicates site boundaries

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Rev	Issue	Date
01	DA Issue	16.03.18

Family & Community Services
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Aboriginal Housing Office

NATIONWIDE HOUSE
Average star rating: 6.3
Certificate no.: 0002553980
Assessor Name: Dean Gorman
Accreditation no.: VIC/BDV/13/1645
Certificate date: 15 March 2018
Dwelling Address: 30 Frank Street, Mount Druitt, NSW 2770
www.nathurs.gov.au

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Seniors Living Development x 4 Units
30 Frank Street,
Mount Druitt, NSW

Drawn: JOK, CP
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Plot date: 26/3/18

Scale: 1:100 as noted @ A1

Project No:
2158.17

Drawing No: DA03
Amendment#: 01

Cut and Fill Plan

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scale: 1:100 @A1

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Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

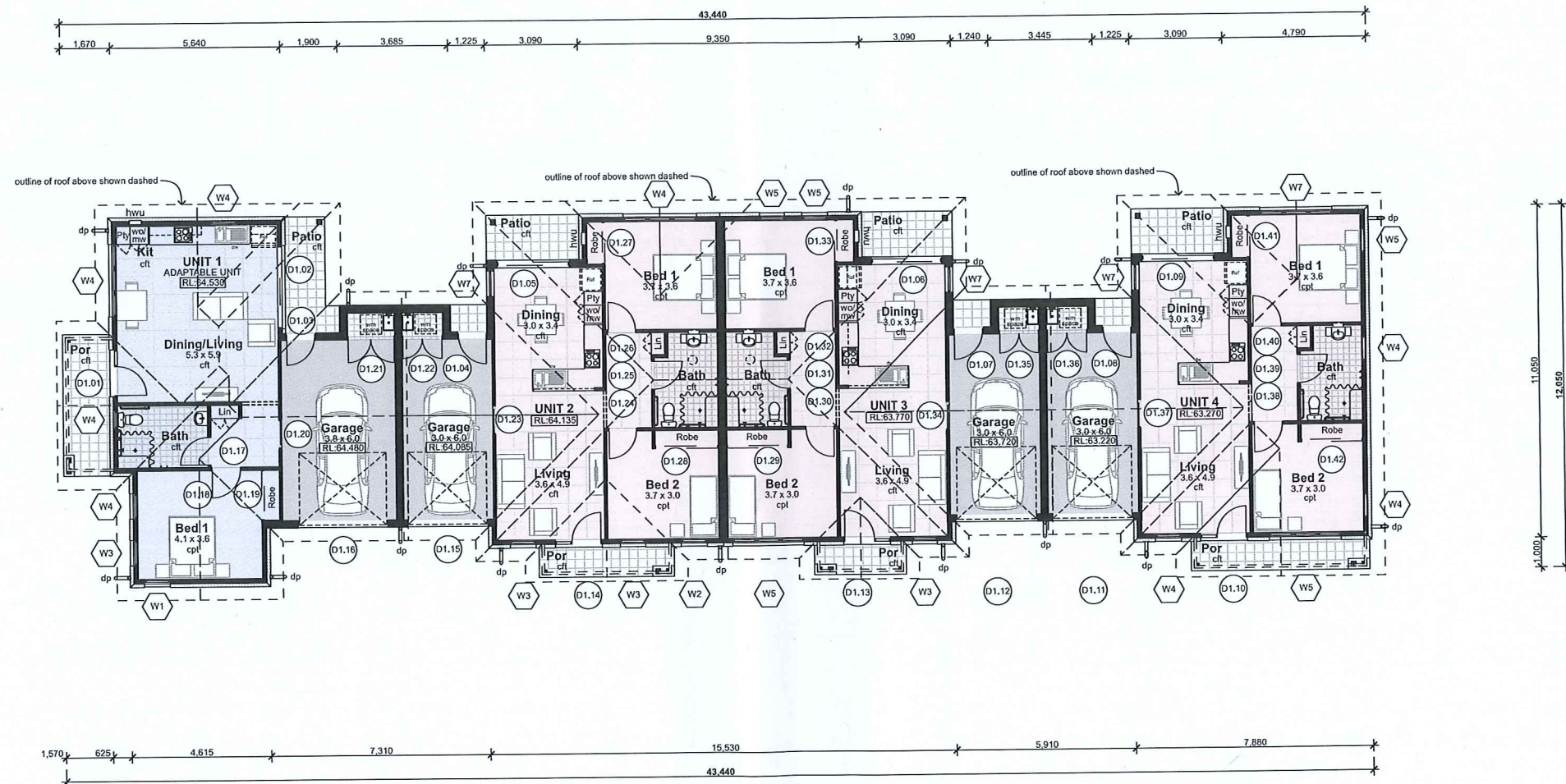
Drawn: JOK, CP
Checked: JOK
Plot date: 26/3/18

Scale: 1:100 as noted @ A1

Project No:
2158.17

Drawing No: DA04
Amendment: 01

Ground Floor Plan



01 Ground Floor Plan 1:100

Legend (floor plans)		bsn		gt		ro		wo		wall oven	
note: drawings may not conform to all dimensions listed below		cft(1)		hr(1)		rw(1)		wm		washing machine space	
D01	door numbers (as scheduled) (prefix ex. for existing door)	cl	ceramic floor tile (type)	ht	handrail (type)	srt	retaining wall (type)				
		cl	clothes line	hse	hose tap	rw	rainwater tank				
		col	column	hvu	hot water unit	sk	sink				
		cpt(1)	carpet (type)	hvd	hydrant	sc	steel column				
		ct	cooktop	hr	ke-b ramp	shr	shower				
		dp	downpipe	lb	letter box	sk	skylight/skytube				
		fb(1)	face brickwork (type)	lin	linen cupboard	sl	sliding door				
		fs	fridge space	mw	microwave	st	store				
		fw	floor waste	pmp	permeable pavers	sv(1)	sheet vinyl (type)				
		gb	garbage bin	ply	pantry	swp	storm water pit				
		gt	gate	ref	refrigerator	vp	vent pipe				

All dimensions to be verified on site and any discrepancies referred to architect for determination. figured dimensions to take precedence over scaled dimensions.

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Rev	Issue	Date
01	DA Issue	16.03.18



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Aboriginal Housing
Office

Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

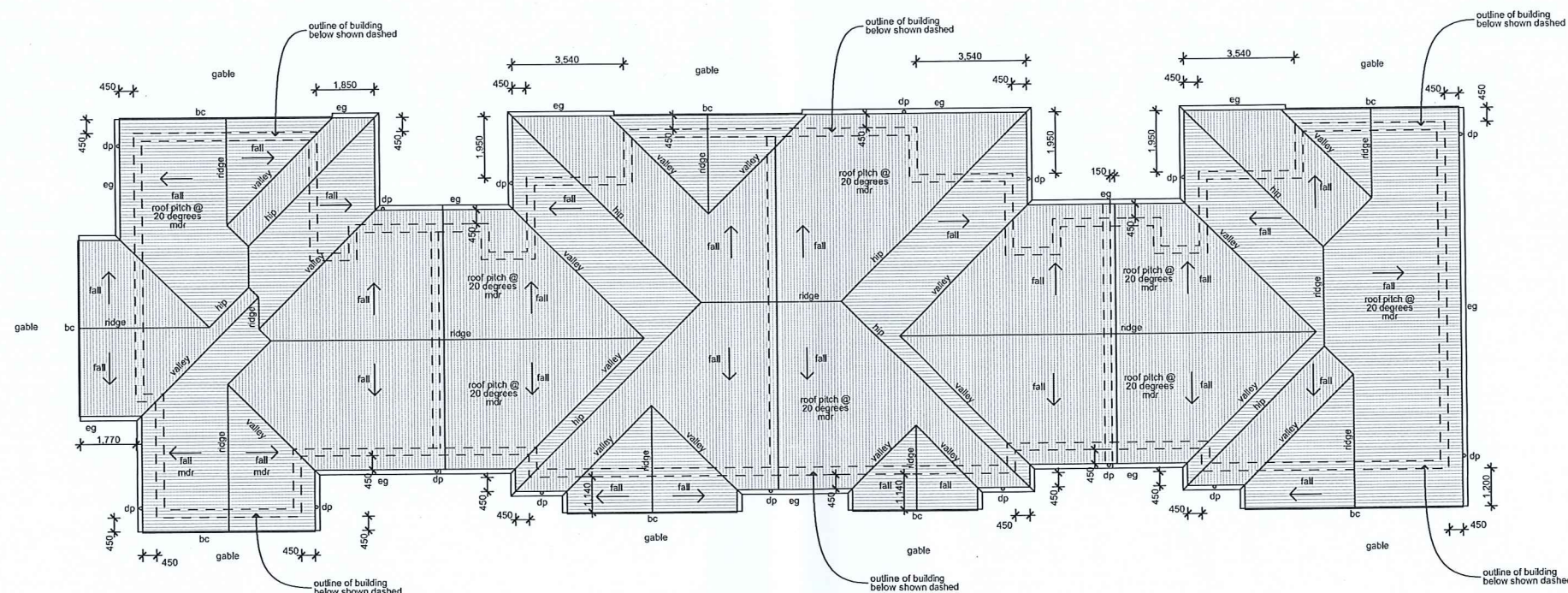
Drawn; JOK, CP
Checked; JOK
Plot date; 26/3/18

Scale: 1:100 as noted @ AI

Project No;
2158.17

Drawing No; DA05
Amendment#; 01

Roof Plan



01 Roof Plan
1:100

(roof plans)

note: drawing may not contain all items listed below

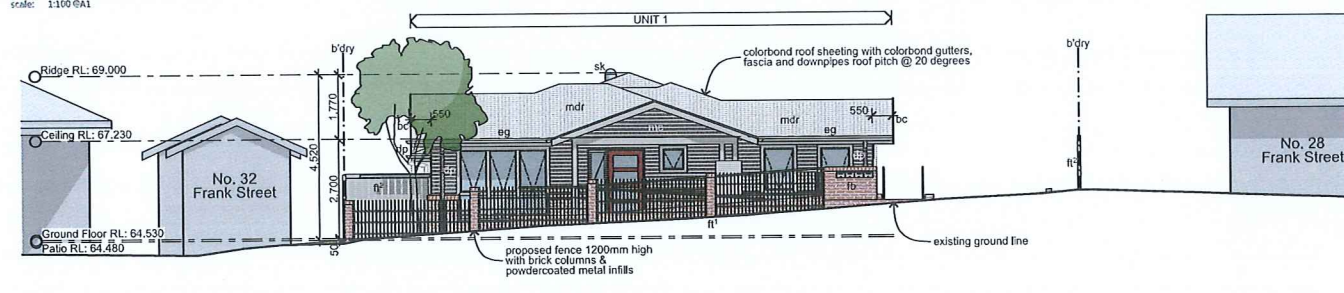
ap	access panel
bc	barge capping
dp	downpipe
eg	eaves gutter
ex	existing
fg	flashing
gu	gutter
mdr	metal deck roof sheeting
of	overflow
pc	parapet capping
pv	photovoltaic cells

rrc	roof ridge capping
rwh	rainwater head
sk	skylight/skytube
vp	vent pipe

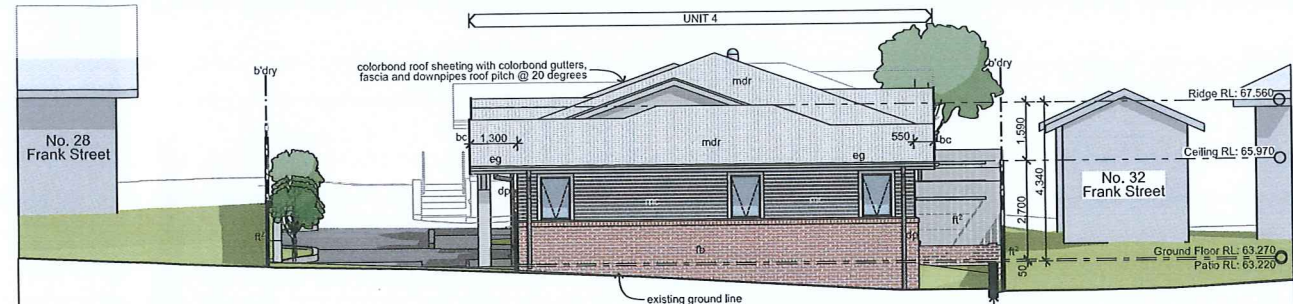
note:

1. provide flashings and cappings to all roof penetrations in accordance with roof manufacturers details
2. provide gutter-guards to all guttering throughout
3. metal roof sheeting to comply with AS1562.1

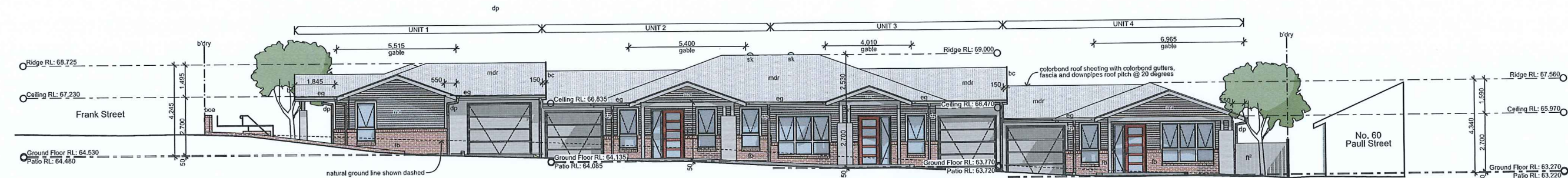
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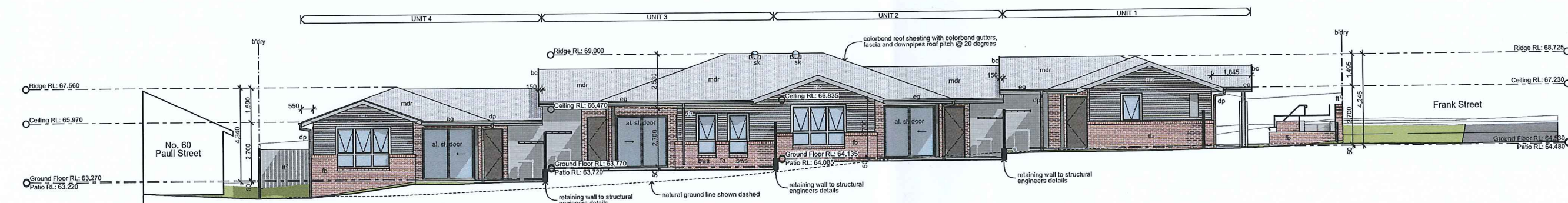
01 South Elevation (Frank Street)
1:100



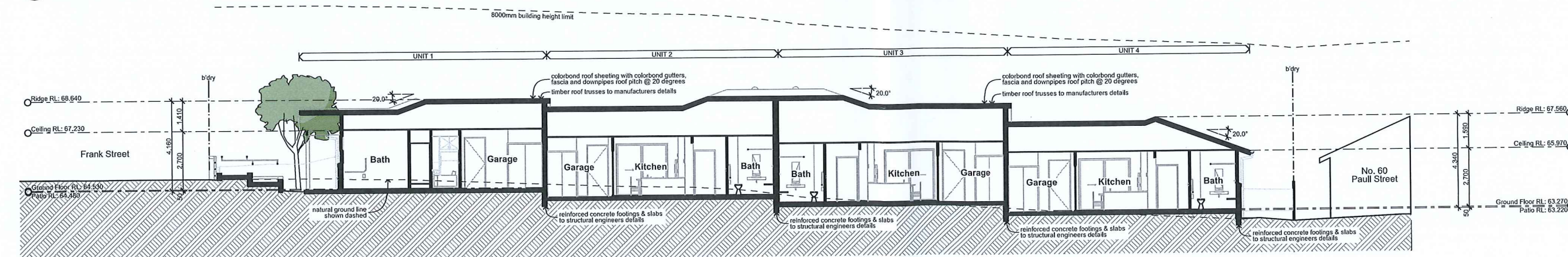
02 North Elevation
1:100



03 East Elevation
1:100



04 West Elevation
1:100



05 Section
1:100

Legend (elevation & sections)					
ac	air conditioner condenser	csc	cut soldier course	hr(1)	handrail (type)
ag	ag pipe	dp	downpipe	flr	fixed louvers
alv	adjustable louvers	eg	eaves gutter	mc(1)	metal cladding (type)
alw	aluminum framed window	ex	existing ground line	mdr	metal deck roof
bal(1)	balustrade (type)	ex	existing	olv	operable louvers
bc	barge capping	fb(1)	face brickwork (type)	p(1)	paint (type)
bhc	brick header course	fd	finished ceiling level	pbd	plasterboard
boe	brick on edge	fl	finished floor level	pv	photovoltaic cells
bws	brickwork sill	fl	fixed louvers	rc	rendered concrete
cfc	compressed fibre cement	gl	ground line	rp	render & paint finish
conc.	concrete	gt	gate	rs	roller shutter
				rw	retaining wall

note:
1. all handrails, balustrades & louvers shown
indicatively only. refer to detail drawings for clarity.
2. refer to engineer's drawings for final co-ordination.

Stanton Dahl Architects Pty Limited ABN 22 070 251 096 Incorporated in Australia
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www.stantondahl.com.au

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Rev	Issue	Date
01	DA Issue	16.03.18

Family & Community Services
NSW
Aboriginal Housing Office

Aboriginal
Housing
Office

Certificate no.: 0002553980
Assessor Name: Dean Gorman
Accreditation no.: VIC/BDV13/1645
Certificate date: 15 March 2018
Dwelling Address: 30 Frank Street
Mount Druitt, NSW
2770
www.nathurs.gov.au

Architecture
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Aboriginal Housing
Office

Seniors Living Development x 4 Units

30 Frank Street,
Mount Druitt, NSW

Drawn: JOK, CP
Checked: JOK
Plot date: 26/3/18

Scale: 1:100 as noted @ AI

Project No:
2158.17

Drawing No: DA06
Amendment: 01

Elevations & Sections

External Colour Selection

30 Frank Street, Mount Druitt, NSW



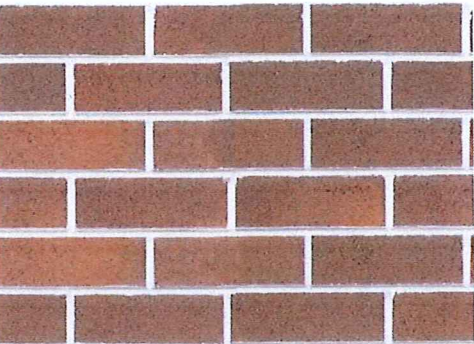
Certificate no.: 0002553980
Assessor Name: Dean Gorman
Accreditation no.: VIC/BDIV/13/1645
Certificate date: 15 March 2018
Dwelling Address: 30 Frank Street, Mount Druitt, NSW 2770
www.nathers.gov.au



Architecture
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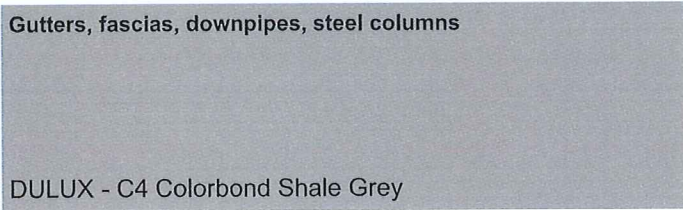


Face Brick (fb)
PGH Bricks - Dry Pressed
Colour: "Macarthur Mix"



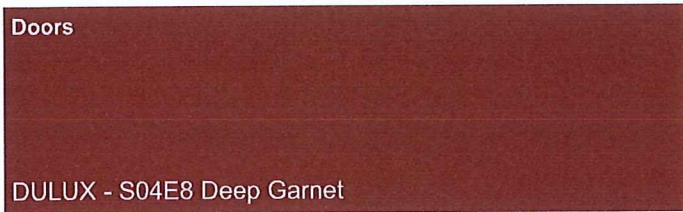
Rendered and painted (rp)
External walls & Columns

DULUX - SW1G1 Vivid White



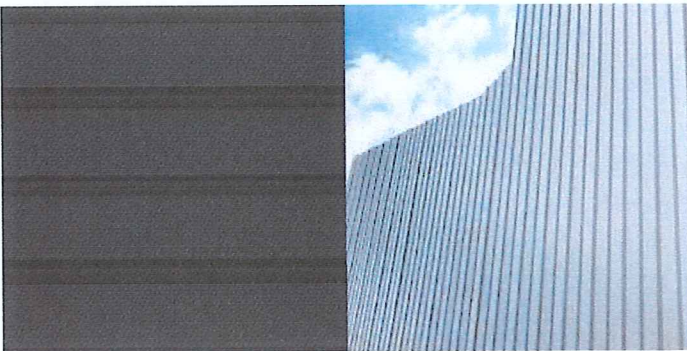
Gutters, fascias, downpipes, steel columns

DULUX - C4 Colorbond Shale Grey

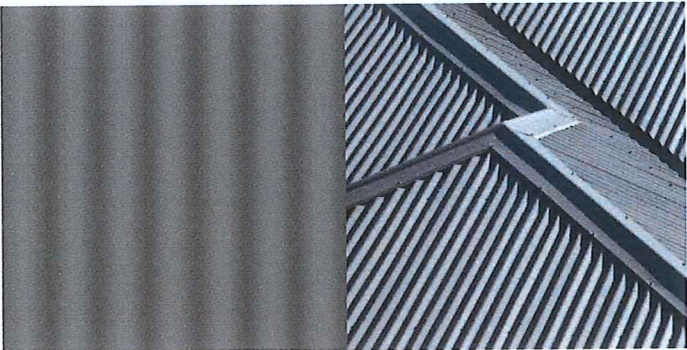


Doors

DULUX - S04E8 Deep Garnet



Metal Cladding (mc)
Colorbond "easyclad"
Colour: "facade"



Metal Deck Roofing (mdr)
Colorbond "Custom-Orb"
Colour: "Colorbond Shale Grey"



DA ISSUE

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Aboriginal Housing Office,
Seniors Living Development x
4 Units
30 Frank Street, Mount
Druitt, NSW

External Colour Selection

Project No;
2158.17

Drawing No; Amendment#;
DA07 01

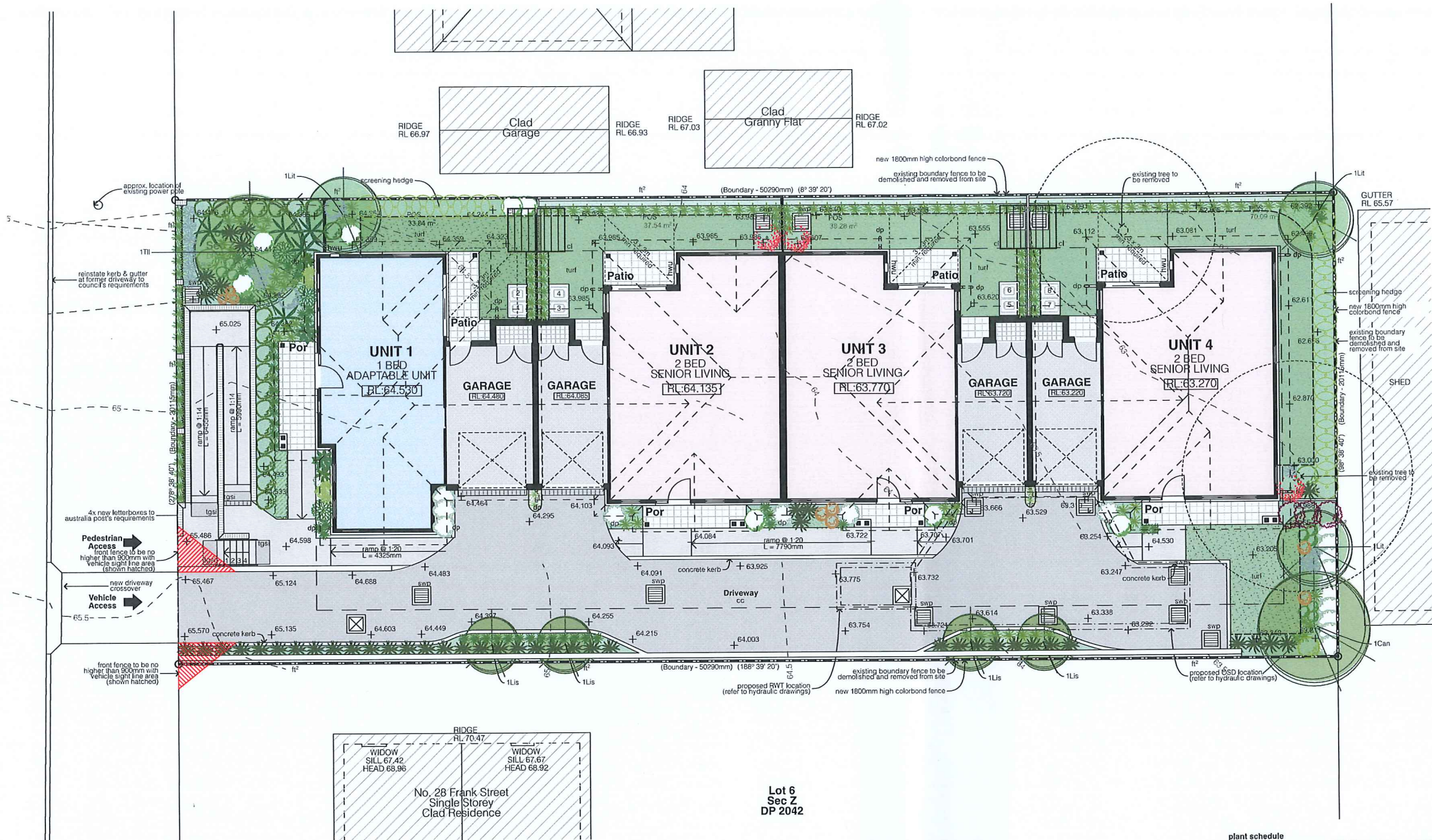
Scale; N.T.S @ A3

Drawn; JOK, CP

Plot date; 26/3/18

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Stanton Dahl & Associates Pty Limited. ABN 32 002 261 396 Nominated Architects : D P Stanton 3642, D C Mellon 7864, S M Evans 7656 © Copyright 2016 Stanton Dahl



legend:

- note: drawing may not contain all items listed below
- RL00.00 → proposed levels
- ac air conditioner condenser
 - acc accessible
 - adhc ageing, disability & home care
 - ap access panel
 - bal(1) balustrade (type)
 - bfc broom finished concrete
 - boe brick on edge
 - bol bollard
 - cl clothes line
 - col column
 - dp downpipe
 - drip doorpost
 - ex existing
 - fb(1) facebrick work (type)
 - ft(1) fence (type)
 - gb garbage bin
 - gt gate
 - gld grated drain
 - hr(1) handrail (type)
 - ht hose tap
 - hvu hot water unit
 - hyd hydrant
 - hr ramp
 - lb letter box
 - clc off form concrete
 - pp power pole
 - rw(1) retaining wall (type)
 - slc steel float concrete
 - swp storm water pit
 - tlc trowel finished concrete
 - tpsl tactile ground surface indicator
 - low top of wall
 - w/c wood float concrete
 - ex contours & banking line
 - existing trees to be retained
 - existing trees to be removed
 - kwik kerb garden edging
 - fencing - for all fencing materials and types refer to the architects plans.
 - proposed trees
 - planting areas

note: maintenance: all landscape works are to be maintained for a period of six months from the date of completion. this includes all watering, weeding, spraying and remulching necessary to achieve vigorous growth. any defects which arise during this period are to be rectified immediately. any plants or areas of turf which fail during this period are to be replaced at no additional cost.

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Rev	Issue	Date
1	Development Application Issue	27.02.19

Family & Community Services
NSW
Aboriginal Housing Office

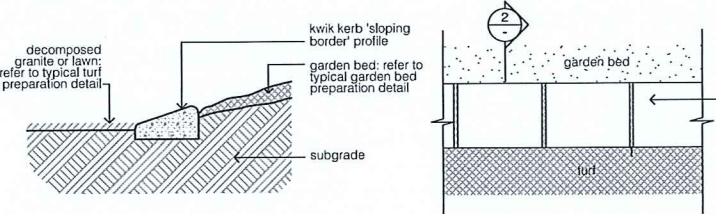
Aboriginal Housing Office

botanique design
p. 0004 887 629

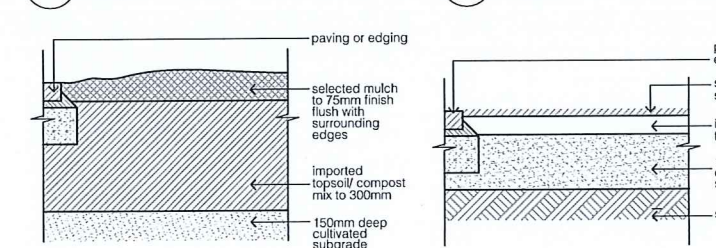
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1 landscape plan
1:100



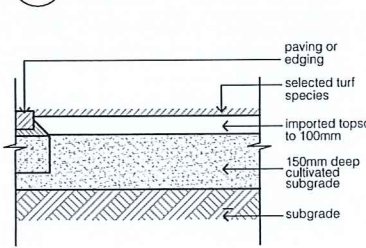
2 kwik kerb garden edge section
1:10



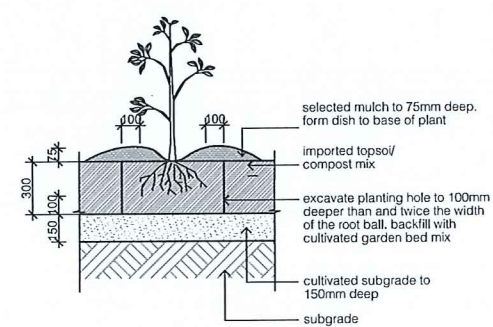
4 garden bed preparation detail
1:10



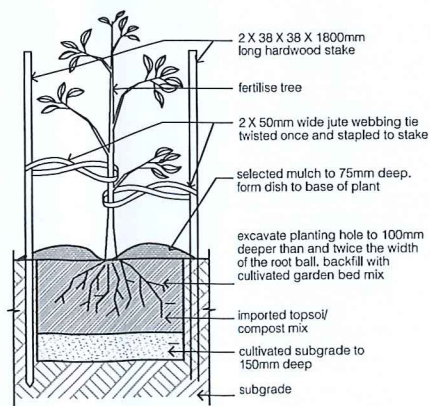
3 kwik kerb garden edge plan
1:10



5 turf preparation detail
1:10



6 garden bed planting
1:20



7 15 - 45l tree planting detail
1:20

plant schedule

code	botanical name	common name	mature height	pot size	stake
Trees					
Can	Cupaniopsis anacardioides	Tuckeroo	8.0m	35L	yes
Hil	Hymenosporum flavum	Crepe Native Frangipani	7.0m	35L	yes
Lin	Lagerstroemia indica 'Natchez'	Crepe Myrtle	8.0m	35L	yes
Lis	Lagerstroemia indica 'Sioux'	Crepe Myrtle	4.0m	35L	yes
Lit	Lagerstroemia indica 'Tuscarora'	Crepe Myrtle	6.0m	35L	yes
Til	Tristania laurina 'Luscious'	Water Gum	10.0m	35L	yes
Shrubs					
Cal	Correa alba	White Correa	1.5m	200mm	yes
Bbc	Banksia 'Birthday Candles'	Birthday Candles	0.4m	200mm	no
Ccc	Callistemon 'Captain Cook'	Bottlebrush	2.0m	200mm	yes
Cex	Crocea exaltata	Crocea	0.5m	200mm	no
Cgb	Callistemon 'Great Balls of Fire'	Bottlebrush	1.5m	200mm	no
Cvs	Callistemon viminalis 'Slim'	Bottlebrush	3.0m	200mm	yes
Cwa	Callistemon 'White Anzac'	Bottlebrush	1.5m	200mm	yes
Lch	Loropetalum chinense var. Rubrum	Chinese Fringe Flower	1.5m	200mm	yes
Sre	Syzygium 'Resilience'	Lilly Pilly	4.0m	200mm	yes
Rop	Raphirolepis 'Oriental Pearl'	Indian Hawthorne	1.0m	200mm	no
Wab	Westringia 'Aussie Box'	Coastal Rosemary	0.6m	200mm	no
Wwg	Westringia 'Wynabbie Gem'	Coastal Rosemary	1.0m	200mm	no
Groundcovers, Grasses and Feature Plants					
Arv	Anigozanthus 'Ruby Velvet'	Kangaroo Paw	1.0m	200mm	no
Asa	Aspidistra elata	Cast Iron Plant	0.8m	200mm	no
Bca	Blechnum cartilagineum	Birds Nest Fern	1.0m	200mm	no
Das	Doodia aspera	Gristle Fern	0.7m	200mm	no
Dex	Doryanthes excelsa	Rasp Fern	0.5m	140mm	no
Lil	Lily Turf	Gymea Lily	1.2m	140mm	no
Gmt	Grevillea 'Mt Tamboritha'	Lily Turf	0.4m	140mm	no
Lit	Lomandra longifolia 'Tanika'	Dwarf Mat Rush	0.3m	140mm	no
Mpa	Myoporum parvifolium	Creeping Boobiala	0.1m	140mm	no
Smc	Scaevola 'Mauve Clusters'	Fan Flower	0.1m	140mm	no

Aboriginal Housing Office

Seniors Living Development x 4 Units
30 Frank Street,
Mount Druitt, NSW

Drawn: MM
Checked: JOK
Plot date: 19/03/2018

Scale: 1:100, 1:10, 1:20 as noted @ A1

Project No:
2158.17

Drawing No:
L01

Amendment:
1

Landscape Plan

PROPOSED DEVELOPMENT

30 Frank St, Mount Druitt NSW
greenview Job No: 171243

GENERAL NOTES

- 1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NOMINATED OR APPLICABLE COUNCIL SPECIFICATION.
- 2. THE CONTRACTOR SHOULD REPORT ANY DISCREPANCIES ON THE DRAWINGS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN.
- 3. CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN ADJACENT LANDS WITHOUT THE PERMISSION OF THE OWNER.
- 4. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED WHERE DIRECTED OR REMOVED FROM SITE.
- 5. ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
- 6. ALL DRAINAGE LINES THROUGH ADJACENT LOTS SHALL BE CONTAINED WITHIN EASEMENTS CONFORMING TO COUNCIL'S STANDARDS.
- 7. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL PROVIDE A TRAFFIC MANAGEMENT PLAN PREPARED BY AN ACCREDITED PERSON IN ACCORDANCE WITH RMS REQUIREMENTS, FOR ANY WORK ON OR ADJACENT TO PUBLIC ROADS, PLAN TO BE SUBMITTED TO COUNCIL & RMS AS REQUIRED.
- 8. THESE PLANS SHALL BE A READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS.
- 9. THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS, ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS TO ENSURE THERE ARE NO OBSTRUCTIONS IN THE LINE OF THE DRAINAGE DISCHARGE PIPES.
- 10. THE BUILDER IS TO VERIFY ALL LEVELS ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- 11. ALL THE CLEANING EYES (OR INSPECTION EYES) FOR THE UNDERGROUND PIPES HAVE TO BE TAKEN UP TO THE FINISHED GROUND LEVEL FOR EASY IDENTIFICATION AND MAINTENANCE PURPOSES.
- 12. ALL TERRACE FLOOR AND PLANTER GRATES TO HAVE FIRE COLLARS FITTED.
- 13. ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANIZED STEP IRONS AT 300 mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS AS198-1994.
- 14. ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL, BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
- 15. PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDER SHALL ENSURE THAT THE INVERT LEVELS OF WHERE THE SITE STORMWATER SYSTEM CONNECTION INTO COUNCIL'S KERB/DRAINAGE SYSTEM MATCH THE DESIGN LEVELS, ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
- 16. GREENVIEW IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY SURVEY INFORMATION PROVIDED ON THIS DRAWING.
- 17. ALL LEVELS SHOWN ARE EXPECTED TO BE TO A.M.D.
- 18. ALL CHANGES AND LEVELS ARE IN METERS, AND DIMENSIONS IN MILLIMETRES, UNLESS NOTED OTHERWISE.
- 19. THE SURVEY INFORMATION ON THIS DRAWING HAS BEEN PROVIDED BY THE ARCHITECT.
- 20. CONTRACTORS SHALL ARRANGE FOR THE WORKS TO BE SET OUT BY A REGISTERED SURVEYOR.
- 21. W.A.E DRAWINGS BY A REGISTERED SURVEYOR ARE REQUIRED PRIOR TO CERTIFICATION OF DRAINAGE.
- 22. WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES WITHOUT WRITTEN APPROVAL.

RAINWATER REUSE SYSTEM NOTES

- 1. RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS).
- 2. NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAINWATER SUPPLY.
- 3. PROVIDE AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK.
- 4. PROVIDE AT LEAST ONE EXTERNAL HOSE COCK ON THE TOWN WATER SUPPLY FOR FIRE FIGHTING.
- 5. PROVIDE APPROPRIATE FLOAT VALVE AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL.
- 6. ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZ3500.1 NATIONAL PLUMBING AND DRAINAGE CODE.
- 7. PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN.
- 8. ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK SURFACE WATER INLETS ARE NOT TO BE CONNECTED.
- 9. PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZ3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345).
- 10. EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED 'RAINWATER' ON A METALLIC SIGN IN ACCORDANCE WITH AS1319.
- 11. ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY.
- 12. ALL DOWNPIPES CHARGED TO THE RAINWATER TANK ARE TO BE SEALED UP TO GUTTER LEVEL AND BE PRESSURE TESTED AND CERTIFIED.
- 13. TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF

- 13.1. PERMANENT AIR GAP
- 13.2. BACKFLOW PREVENTION DEVICE

EARTHWORK NOTES

- 1. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
- 2. THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES AND DEBRIS ETC. TO THE EXTENT OF THE PROPOSED DEVELOPED AREA.
- 3. PROVIDE PROTECTION BARRIERS TO PROTECTED/SENSITIVE AREAS PRIOR TO ANY BULK EXCAVATION.
- 4. OVER FULL AREA OF EARTHWORKS, CLEAR VEGETATION, RUBBISH, SLABS ETC. AND STRIP TOP SOIL, AVERAGE 200mm THICK. REMOVE FROM SITE, EXCEPT TOP SOIL FOR RE-USE.
- 5. CUT AND FILL OVER THE SITE TO LEVELS REQUIRED.
- 6. PRIOR TO ANY FILLING IN AREAS OF CUT OR IN EXISTING GROUND, PROOF ROLL THE EXPOSED SURFACE WITH A ROLLER OF MINIMUM WEIGHT OF 5 TONNES WITH A MINIMUM OF 10 PASSES.
- 7. EXCAVATE AND REMOVE ANY SOFT SPOTS ENCOUNTERED DURING PROOF ROLLING AND REPLACE WITH APPROVED FILL COMPACTED IN LAYERS, THE WHOLE OF THE EXPOSED SUBGRADE AND FILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT \pm 2%.
- 8. FOR ON SITE FILLING AREAS, THE CONTRACTOR SHALL TAKE LEVELS OF EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING FILL OPERATIONS.
- 9. WHERE HARD ROCK IS EXPOSED IN THE EXCAVATED SUB-GRADE, THIS WILL BE INSPECTED AND A DECISION MADE ON THE LEVEL TO WHICH EXCAVATION IS TAKEN.
- 10. FILL IN 200mm MAXIMUM (LOOSE THICKNESS) LAYERS TO UNDERSIDE OF BASECOURSE USING THE EXCAVATED MATERIAL AND COMPACTED TO 98% STANDARD (AS 1289 S.1.1), MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT \pm 2%, SHOULD THERE BE INSUFFICIENT MATERIAL FROM SITE EXCAVATIONS, IMPORT AS NECESSARY CLEAN GRANULAR FILL TO APPROVAL.
- 11. COMPACTION TESTING SHALL BE CARRIED OUT AT THE RATE OF 2 TESTS PER 1000SQ METRES PER LAYER BY A REGISTERED NATA LABORATORY. THE COSTS OF TESTING AND RE-TESTING ARE TO BE ALLOWED FOR BY THE BUILDER.
- 12. BATTERS TO BE AS SHOWN, OR MAXIMUM 1 VERT : 4 HORIZ.
- 13. ALL CONDUITS AND MAINS SHALL BE LAID PRIOR TO LAYING FINAL PAVEMENT.
- 14. ALL BATTERS AND FOOTPATHS ADJACENT TO ROADS SHALL BE TOP SOILED WITH 150mm APPROVED LOAM AND SEEDED UNLESS OTHERWISE SPECIFIED.

SAFETY IN DESIGN NOTES

THERE ARE INHERENT RISKS WITH CONSTRUCTING, MAINTAINING, OPERATING, DEMOLISHING, DISMANTLING AND DISPOSING, WE NOTE THIS DESIGN IS TYPICAL OF SIMILAR DESIGNS, AS FAR AS IS REASONABLY PRACTICABLE RISKS HAVE BEEN ELIMINATED OR MINIMISED THROUGH THE DESIGN PROCESS. HAZARD CONTROLS MUST STILL BE IMPLEMENTED BY THE CONTRACTOR, OWNER OR OPERATOR TO ENSURE THE SAFETY OF WORKERS. GREENVIEW ASSESSMENT DID NOT IDENTIFY ANY UNIQUE RISKS ASSOCIATED WITH THE DESIGN.

DRAINAGE INSTALLATION

RCP CONVENTIONAL

INSTALLATIONS & ROAD CROSSINGS

- 1. SUPPLY & INSTALLATION OF DRAINAGE WORKS TO BE IN ACCORDANCE WITH THESE DRAWINGS, THE COUNCIL SPECIFICATION AND THE CURRENT APPLICABLE AUSTRALIAN STANDARDS.
- 2. BACKFILL SHALL BE PLACED & COMPACTED IN ACCORDANCE WITH THE SPECIFICATION. A GRANULAR GRAVEL AGGREGATE MATERIAL (<10mm) BACKFILL IS RECOMMENDED FOR THE BEDDING, HAUNCH SUPPORT AND SIDE ZONE DUE TO ITS SELF COMPACTING ABILITY.
- 3. A MINIMUM OF 150mm CLEARANCE IS TO BE PROVIDED BETWEEN THE OUTSIDE OF THE PIPE BARREL AND THE TRENCH WALL FOR PIPES < 600 DIA. 200mm CLEARANCE FOR PIPES 600 TO 1200 DIA. AND 300mm CLEARANCE FOR PIPES > 1200 DIA.
- 4. BEDDING OF THE PIPELINES IS TO BE TYPE H152 IN ACCORDANCE WITH THE STANDARDS AND AS FOLLOWS:

a. COMPACTED GRANULAR MATERIAL IS TO COMPLY WITH THE FOLLOWING GRADINGS:						
M	19	2.3600	0.6000	0.3000	0.1500	0.0750
% MASS PASSING	100	50-100	20-90	10-60	0-25	0-10

AND THE MATERIAL PASSING THE 0.075 SIEVE HAVING LOW PLASTICITY AS DESCRIBED IN APPENDIX D OF AS1726.

b. BEDDING DEPTH UNDER THE PIPE TO BE 100mm.

c. BEDDING MATERIAL TO BE EXTENDED FROM THE TOP OF THE BEDDING ZONE UP TO 0.3 TIMES PIPE OUTSIDE DIAMETER. THIS REPRESENTS THE HAUNCH ZONE.

d. THE BEDDING & HAUNCH ZONE MATERIAL IS TO BE COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 98% WITHIN ROAD RESERVES AND TRAFFICABLE AREAS AND 95% ELSEWHERE FOR COHESIVE MATERIAL OR A MINIMUM DENSITY INDEX OF 70% IN ACCORDANCE WITH THE STANDARDS FOR COHESIONLESS MATERIAL.

e. COMPACTION TESTING SHALL BE CARRIED OUT BY AN APPROVED ORGANISATION WITH A NATA CERTIFIED LABORATORY FOR ALL DRAINAGE LINES LAID WHOLLY OR IN PART UNDER THE KERB & GUTTER OR PAVEMENT.

STORMWATER DRAINAGE NOTES

- 1. STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS INCLUDING AS3500.3, NCC AND COUNCIL'S SPECIFICATION.
- 2. PIPES OF 225mm DIA. AND UNDER SHALL BE UPVC.
- 3. PIPES OF 300mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 RUBBER RING JOINTED UNO.
- 4. ALL FRC OR RCP STORMWATER PIPES WITHIN ROAD RESERVE AREAS TO BE CLASS 3 U.N.O. BY COUNCIL'S SPECIFICATION.
- 5. PIPES SHALL GENERALLY BE LAID AT THE GRADES INDICATED ON THE DRAWINGS.
- 6. MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 600mm IN CARPARK & ROADWAY AREAS UNO.
- 7. ALL PIPES LOCATED IN LANDSCAPE AREAS TO HAVE 300mm COVER, WHERE NOT POSSIBLE AND COVER IS BETWEEN 150mm AND 300mm USE SEWER GRADE PIPE.
- 8. PIPES 225mm DIA AND OVER SHALL BE LAID AT 0.5% MIN. GRADE U.N.O.
- 9. PIPES UP TO 150mm DIA SHALL BE LAID AT 1.0% MIN. GRADE U.N.O.
- 10. BACKFILL TRENCHES WITH APPROVED FILL COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY.
- 11. ANY PIPES OVER 10% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS.
- 12. THE MINIMUM SIZES OF THE STORMWATER DRAINAGE PIPES SHALL NOT BE LESS THAN 50mm DIA FOR CLASS 1 BUILDINGS AND 100mm DIA FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY.
- 13. DOWNPIPES SHOWN ARE INDICATIVE ONLY. REFER ARCHITECTURALS FOR FINAL LOCATIONS. ALL ROOF GUTTERING AND DOWNPIPES TO THE CURRENT AUSTRALIAN STANDARDS.
- 14. ALL DOWNPIPES TO BE CONSTRUCTED OF ONE MATERIAL FOR AESTHETICS REASONS AND PAINTED TO PROTECT THEM AGAINST ULTRA-VIOLET LIGHT DAMAGE, UNLESS APPROVED OTHERWISE BY THE PROJECT ARCHITECT.
- 15. BUILD INTO UPSTREAM FACE OF ALL FITS A 3.0m SUBSOIL LINE ALLING TO PITS TO MATCH PIT INVERTS.
- 16. ALL COURTYARD & LANDSCAPED PITS TO BE 450 SQUARE UNLESS NOTED OTHERWISE.
- 17. ALL DRIVEWAY & OSD PITS TO BE 600 SQUARE UNLESS NOTED OTHERWISE.
- 18. ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- 19. ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS, WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
- 20. GEOTEXTILE FABRIC TO BE PLACED UNDER RIP RAP SCOUR PROTECTION WHERE APPLICABLE.
- 21. ALL BASES OF PITS TO BE BENCHD (TO HALF PIPE DEPTH) TO THE INVERT OF THE OUTLET PIPE AND PROVIDE GALVANIZED ANGLE SURROUNDINGS TO GRATE.
- 22. ANY VARIATION TO THAT WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY THE ENGINEER PRIOR TO THE COMMENCEMENT.
- 23. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- 24. ALL GRATES TO HAVE CHILDPROOF LOCKS.
- 25. ALL DOWNPIPES TO HAVE LEAF GUARDS.
- 26. ALL WORK WITHIN COUNCIL RESERVE AREAS TO BE INSPECTED BY COUNCIL PRIOR TO BACKFILLING.
- 27. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
- 28. WATER PROOF ALL CONCRETE BALCONIES & ROOFS TO ARCHITECTS DETAILS.
- 29. ALL BALCONIES TO HAVE FLOOR WASTE AND 1% FALL WITH SAFETY OVERFLOW.
- 30. ALL SUBSOIL DRAINAGE SHALL BE A MINIMUM OF 665mm AND SHALL BE PROVIDED WITH A FILTER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE CONSULTANT.
- 31. SUBSOIL DRAINAGE PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO CURRENT AUSTRALIAN STANDARDS. LAY PIPES ON FLOOR OF TRENCH GRADED AT 1% MIN. AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL. PROVIDE FLUSHING EYES AT HIGH POINTS OR TO COUNCILS REQUIREMENTS.
- 32. GRATES TO BE IN ACCORDANCE WITH TABLE BELOW.

PIT GRATE INLINE TYPE

GRATE TYPE	TRAFFIC CONDITIONS
A - EXTRA LIGHT DUTY	FOOTWAYS AND AREAS ACCESSIBLE ONLY TO PEDESTRIANS AND PEDAL CYCLISTS.
B - LIGHT DUTY	FOOTWAYS THAT CAN BE MOUNTED BY VEHICLES.
C - MEDIUM DUTY	WALKS AND PEDESTRIAN AREAS OPEN TO SLOW MOVING COMMERCIAL VEHICLES.
D - HEAVY DUTY	CARRIAGEWAYS OF ROADS AND AREAS OPEN TO COMMERCIAL VEHICLES.

TABLE AS PER AS3599 - 2006. ENGINEER TO BE NOTIFIED IF LOAD CONDITIONS LISTED ABOVE ARE EXCEEDED.

33. COVER TO PIPE TO BE AS PER TABLE BELOW.

COVER TABLE

LOCATION	PIPE TYPE	COVER
LANDSCAPE	PVC	300
LANDSCAPE (SINGLE DWELLING)	PVC	100
UNDER TRAFFICABLE AREA	PVC	100 BELOW UNDER SIDE OF PAVEMENT
CONCRETE	STEEL	N/A BELOW UNDER SIDE OF PAVEMENT
ROADS	RCP	100 BELOW UNDER SIDE OF PAVEMENT

RECOMMENDED SAFETY SIGNS



BASEMENT PUMP OUT FAILURE WARNING SIGN

- 1. SIGN SHALL BE PLACED IN A CLEAR AND VISABLE LOCATION WHERE VEHICLES ENTER THE BASEMENT



CONFINED SPACE DANGER SIGN

- 1. A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANKS CONFINED SPACE.
- 2. THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINIUM OR POLYPROPYLENE.
- 3. SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN.

EXISTING SERVICES

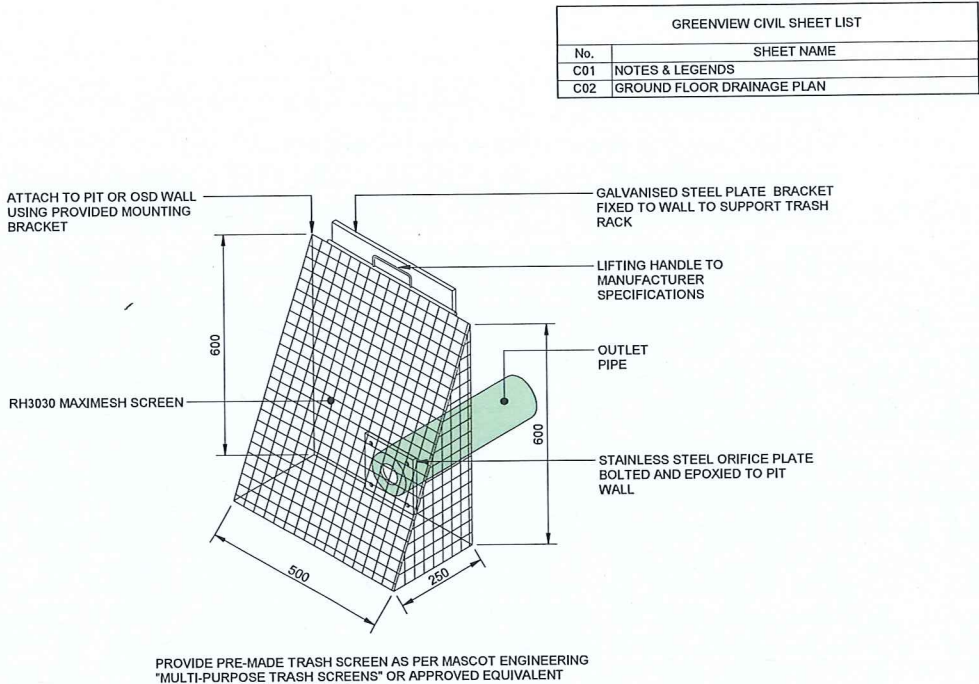


ABBREVIATIONS

DP	DOWN PIPE
FFL	PROPOSED FINISHED FLOOR LEVEL
GL	PROPOSED PIT SURFACE LEVEL
IL	PROPOSED PIT INVERT LEVEL
ID	INSPECTION OPENING
K&G	KERB & GUTTER
P	FINISHED PAVEMENT LEVEL
RCP	REINFORCED CONCRETE PIPE
RKG	ROLL KERB & GUTTER
RL	FINISHED SURFACE LEVEL
RWO	RAINWATER DRAINAGE OUTLET
RWT	PROPOSED RAINWATER TANK
TK	TOP OF NEW KERB LEVEL
TOW	TOP OF NEW RETAINING WALL LEVEL
TWL	TOP OF WATER LEVEL
UPVC	RIGID PVC PIPE
VD	VERTICAL DROPPER

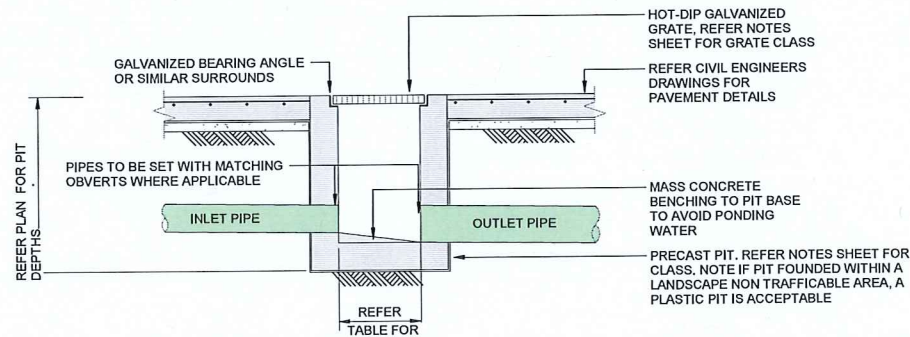
COLOUR LEGEND

- NEW (REFER TO SCHEDULES FOR COLOUR DEFINITION)
- EXISTING
- REMOVED OR RELOCATED



TYPICAL TRASH SCREEN DETAIL

Scale: 1:10



- 1. ENSURE CLIMB IRONS ARE PROVIDED UNDER LID AT 300 CTS TO COUNCIL'S SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000.
- 2. GREENVIEW RECOMMENDS THE PLUMBER PROVIDES 900dia x 3000 LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC. (BIDUM A24 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.

DEPTH	PIT DIMENSION
0 - 600	450 mm x 450 mm
600 - 900	600 mm x 600 mm
900 - 1200	600 mm x 900 mm
1200 +	900 mm x 900 mm

TYPICAL CONCRETE INLET PIT - CONCRETE SURFACE

Scale: 1:20

REV.	DATE	BY	DESCRIPTION	REV.	DATE	BY	DESCRIPTION
4	13.09.18	MJE	OSD CALCS				
3	31.07.18	MJE	COUNCIL CHANGES				
2	19.03.18	MJE	ISSUED FOR APPROVAL				
1	15.03.18	MJE	ISSUED FOR APPROVAL				

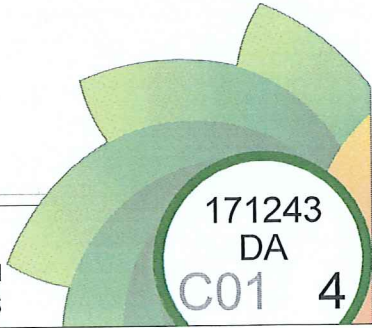
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DRAWN: MJE
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SIZE: A1

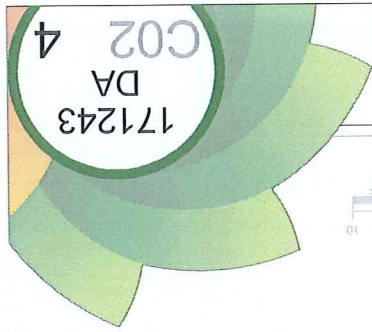


PROPOSED DEVELOPMENT

30 Frank St, Mount Druitt NSW
Stanton Dahl

CIVIL DESIGN
NOTES & LEGENDS





PROPOSED DEVELOPMENT
CIVIL DESIGN
GROUND FLOOR DRAINAGE PLAN
Stanton Dahl
30 Frank St, Mount Druitt NSW

greenview
CONSULTING

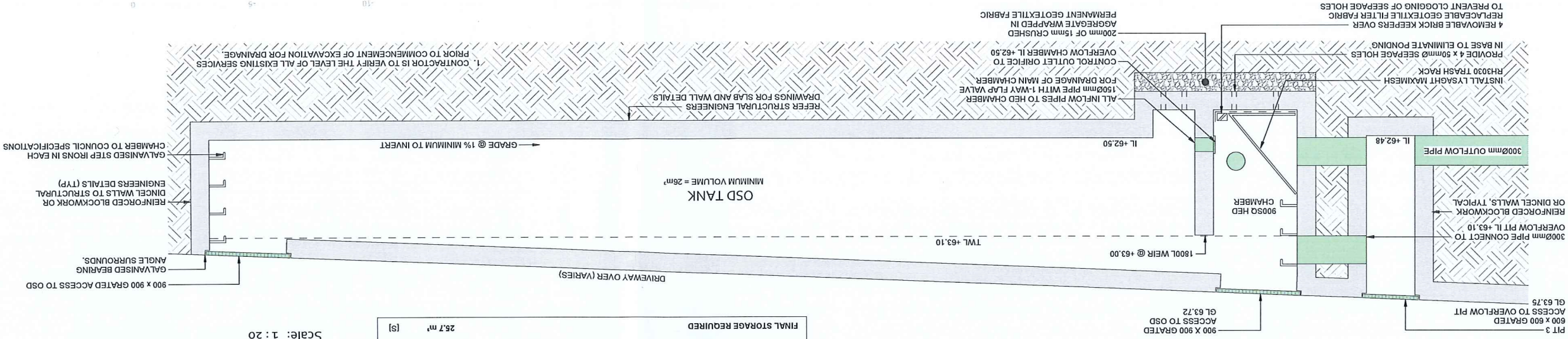


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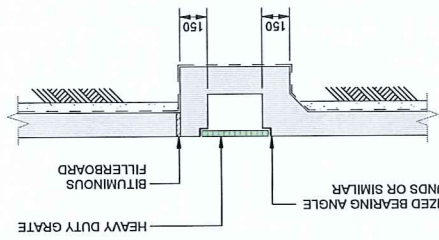
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SECTION
Scale: 1 : 25



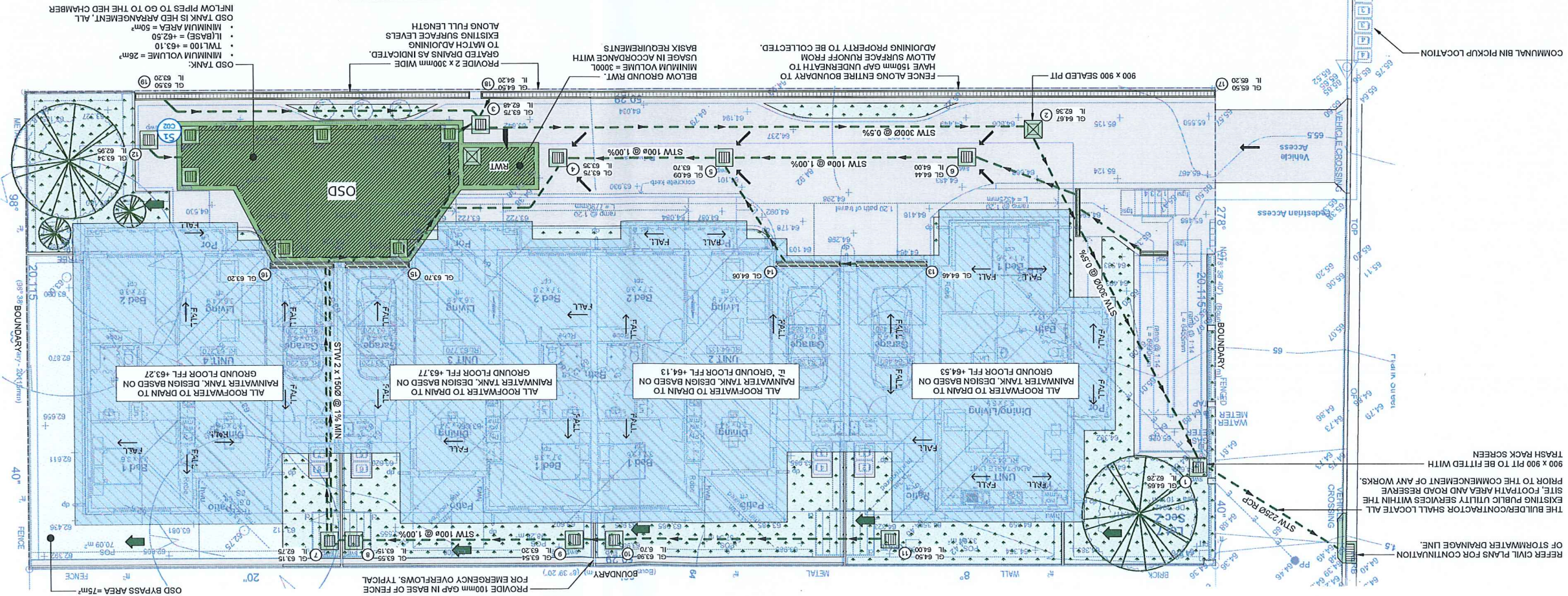
TYPICAL GRATED DRAIN DETAIL
Scale: 1 : 20



OSD CALCULATIONS	
AREA 43 ROPES CREEK	0.1011 ha
SSR	232 m³/ha
PSD	181 l/s/ha
BASIC STORAGE VOLUME	23.455 m³
BASIC DISCHARGE	0.0183 m³/s
AREA OF SITE DRAINED	0.0936 ha
(DPA) (MINIMUM 80%)	92.6%
STORAGE PER HA OF CONTRIBUTING AREA ADJUSTED	148.36 l/s/ha
DETERMINE PSD	13.89 l/s
MAXIMUM HEAD TO ORIFICE	0.60 m
(TWL - CENTRE ORIFICE RL) 63.10 - 62.50	91.20 mm
SELECTED ORIFICE DIMETER	13.89 l/s
HEAD FOR HIGH EARLY DISCHARGE (WEIR RL - CENTRE ORIFICE RL) 63.00 - 62.50	0.50 m
HIGH EARLY DISCHARGE	12.68 l/s
APPROXIMATE MEAN DISCHARGE	14.12 l/s
VOLUME/PSD ADJUSTMENT	274.2 m³/ha
FINAL STORAGE REQUIRED	26.7 m³

1. ALL NEW WORKS SHALL MAKE A SMOOTH JUNCTION WITH EXISTING.
2. THE BUILDING/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE.
3. PRIOR TO COMMENCING ANY WORKS ON THE SITE, THE BUILDING/CONTRACTOR SHALL MATCH THE DESIGN LEVELS, ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY.
4. ALL STORMWATER DRAINAGE WORK TO AVOID TREE ROOTS, WHERE NOT POSSIBLE, ALL EXCAVATIONS IN VICINITY OF TREE ROOTS ARE TO BE HAND DUG.
5. ALL BASES OF PITS TO BE BENCH TO HALF PIPE DEPTH TO THE INVERT OF THE OUTLET PIPE WITH ALL PIPES CUT FLUSH WITH SIDE OF PIT, TO ALLOW SMOOTH FLOW OF STORMWATER.
6. PROVIDE GALVANISED ANGLE SURROUNDINGS TO GRATE WHERE IN TRAFFICABLE AREAS.
7. PROVIDE 150mm GAP IN BASE OF FENCE FOR EMERGENCY OVERFLOWS.

GROUND FLOOR DRAINAGE PLAN
Scale: 1 : 100



CIV - STANDARD SYMBOLS	DESCRIPTION	OVERLAND FLOW PATH	ROOF FALL ARROW
	STW	STW	STW
	STW	STW	STW

CIV - FIXTURES SCHEDULE	DESCRIPTION	PERIMETER STRIP DRAIN	SEALED STORMWATER PIT	300W	GRATED STRIP DRAIN
	PERIMETER STRIP DRAIN	PERIMETER STRIP DRAIN	PERIMETER STRIP DRAIN	PERIMETER STRIP DRAIN	PERIMETER STRIP DRAIN
	SEALED STORMWATER PIT	SEALED STORMWATER PIT	SEALED STORMWATER PIT	SEALED STORMWATER PIT	SEALED STORMWATER PIT

GENERAL LEGEND	PROPOSED TREES	EXISTING TREES
	OSD	OSD
	ROOF AREA TO DRAIN	ROOF AREA TO DRAIN
	LANDSCAPE	LANDSCAPE
	HARDSTAND	HARDSTAND

Assessment against planning controls: section 4.15, summary assessment and variations to standards

1 Environmental Planning and Assessment Act 1979

1.1 Section 4.15 'Heads of Consideration'

Heads of Consideration	Comment	Complies
a. The provisions of:		
(i) Any environmental planning instrument (EPI)	The proposal is permissible under State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004. The proposal achieves compliance with the relevant controls, however the drainage solution for the site is not acceptable.	No
(ii) Any proposed instrument that is or has been the subject of public consultation under this Act	Not applicable	N/A
(iii) Any development control plan (DCP)	The proposal is subject to BDCP Part C – Development in the Residential Zones and the proposal fails to provide a satisfactory method of carrying stormwater drainage downstream from the land.	No
(iii a) Any planning agreement	The application is not subject to a planning agreement	N/A
(iv) The regulations	Not applicable	N/A
b. The likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts on the locality	The proposed method of collection and disposal of stormwater surface and roof water runoff is not satisfactory as the Applicant proposes a gravity feed tank to collect runoff from the roof and carry this to the street. This will have an impact on the natural and built environment.	No
c. The suitability of the site for the development	The proposal is not suitable for the site as it cannot be drained to Council's satisfaction.	No
d. Any submissions made in accordance with this Act, or the regulations	The application was notified and 1 submission and a petition including 21 signatures were received. Whilst a number of issues were raised in the submissions, in the event that approval is granted these could be addressed through conditions of consent, and none of these warrant refusal of the DA on their own.	No

Heads of Consideration	Comment	Complies
e. The public interest	The proposal is not in the interest of the public as it does not provide the required method of stormwater disposal.	No

2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Summary comment	Complies
<p>The proposed development includes BASIX affected buildings and therefore requires assessment against the provisions of this SEPP, including BASIX certification.</p> <p>A BASIX Certificate was submitted with the Development Application in line with the provisions of this SEPP. The BASIX Certificate demonstrates that the proposal complies with the relevant sustainability targets and will implement those measures required by the certificate.</p>	Yes

3 State Environmental Planning Policy No. 55 – Remediation of Land

Summary comment	Complies
SEPP 55 aims to 'provide a State-wide planning approach to the remediation of contaminated land'. Clause 7 requires a consent authority to consider whether the land is contaminated and if it is suitable or can be remediated to be made suitable for the proposed development, prior to the granting of development consent.	Yes

4 Blacktown Local Environmental Plan 2015

Summary comment	Complies
There are no relevant provisions.	

5 Blacktown Development Control Plan 2015

Summary comment	Complies
BDGP 2015 applies to the site with regard to the proposed seniors housing development. The following table outlines the proposal's only non-compliance with BDGP.	
Part C – Development in the Residential Zones	
<p>Section 5.19 – Drainage</p> <p>Where a site proposed for attached dwellings and multi dwelling housing falls away from the fronting street, the DA must include documentation establishing a suitable drainage solution, including inter-allotment drainage (and proposed easement) through downstream properties, and written permission from downstream property owners where applicable.</p> <p>Section 88K of the Conveyancing Act 1919 provides suitable mechanisms to negotiate the creation of easements where an amicable arrangement cannot be made. Council will not support the placement of a tank and gravity feed back to the street to channel</p>	<p>No.</p> <p>The site falls to the rear and an easement is not proposed. The Applicant seeks to install an on-site detention tank with a gravity discharge to the existing pit</p>

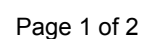
Summary comment	Complies
stormwater drainage back to the street.	on Frank Street.

6 State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004

Self-contained dwellings

Clause	Requirement	Proposal	Complies
Clause 50 Standards that cannot be used to refuse development consent for self-contained dwellings	a) Deep soil zones – 15% of the site, minimum dimensions of 3 metres	15% or 151.65 m ² required 117.85 m ² or 12%	No

1 Location of submitters



2 Consideration of issues raised

Issue	Planning comment/response
The proposed development will change the character of the area	The proposal is for Seniors Housing and is permissible in the zone. The proposal has been designed in a low scale single storey development taking into consideration the existing streetscape.
This style of development goes against the grain of this suburb	Seniors living housing is a permissible form of development in the R2 Low Density Residential zone. This proposal is a low key single storey development.
This form of development should be built in areas where multiple dwellings per lot already exist and the zoning is in support to such builds	Seniors living housing is a permissible form of development in the R2 Low Density Residential zone.
The proposal will have a negative impact on the established environment of the existing suburb	The proposed development is a permissible form of development in the R2 Low Density Residential zone. The proposal aims to provide housing for seniors or persons with a disability.